



AGENDA  
Fair Oaks  
Community Planning Advisory Council (CPAC)  
(Teleconference-Video)

WEDNESDAY

OCTOBER 6, 2021

6:30 PM

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Fair Oaks CPAC Members: Rebecca Friedman, District 3 Appointee (Chairperson); Chad Bowman, District 4 Appointee (Vice Chairperson); Leon Corcos, District 3 Appointee; Ron Leis, District 3 Appointee; Arthur Starkovich, District 3 Appointee; Ted Wolter, District 3 Appointee; Becky Wood, District 3 Appointee

County Staff: Dorelle Johnson, Meeting Clerk (916) 874-3189  
[rallankar@saccounty.net](mailto:rallankar@saccounty.net)

A County CPAC has the right to file an appeal with the County of Sacramento when a committee, commission or official take an action or make a determination that conflicts with community-wide policies as understood by the CPAC and its constituency. During the appeal hearing the applicant or appointed representative must be present.

Sign up to receive notifications or information about public meetings at  
<https://public.govdelivery.com/accounts/CASACRAM/subscriber/new>.

View current projects from the Planning Projects Viewer at  
<https://planningdocuments.saccounty.net/>.

### PUBLIC COMMENT PROCEDURES

In compliance with directives of the County, State, and Centers for Disease Control and Prevention (CDC), this meeting is live stream and closed to in-person public attendance. Meeting procedures are subject to change pursuant to guidelines related to social distancing and minimizing person-to-person contact.

#### Live meeting comment

Sign up to make a public comment during a live meeting. Registration opens when the agenda is posted 72-hours prior to the meeting date. Dial (916) 875-2501 to provide contact information. On the day of the meeting, callers will be contacted by phone and transferred to the meeting to make a comment on a specific agenda item or off-agenda item. Callers may sign up until public comments are closed for a specific item, respectively.

### Written comment

- Send an email comment to [BoardClerk@saccounty.net](mailto:BoardClerk@saccounty.net). Include meeting date and agenda item number or off-agenda item. Contact information is optional.
- Mail a comment to 700 H Street, Suite 2450, Sacramento, CA 95814. Include meeting date and agenda item number or off-agenda item. Contact information is optional.
- Written comments are distributed to members, filed in the record, and will not be read aloud.

### VIEW MEETING

The meeting will be streamed live through BlueJeans Events. Members of the public may watch and/or listen to the meeting as follows:

- Video/Audio from a PC: <https://primetime.bluejeans.com/a2m/live-event/xxzsjjwa>
- Video/Audio from a mobile device: <https://primetime.bluejeans.com/a2m/live-event/xxzsjjwa> (Enter Event ID Code: xxzsjjwa)
- Teleconference (audio only) dial: (415) 466-7000 (Enter PIN Code: 2066613#)

### MEETING MATERIAL

The on-line version of the agenda and associated material is available at <http://sccob.saccounty.net> (click on "Community Planning Advisory Councils" and respective CPAC). Some documents may not be posted on-line because of size or format (maps, site plans, renderings). Contact the Clerk at (916) 874-5411 to obtain copies of documents.

### ACCOMMODATION

Requests for accommodations pursuant to the Americans with Disabilities Act (ADA) should be made with the Clerk by telephone at (916) 874-5411 (voice) and CA Relay Services 711 (for the hearing impaired) or [BoardClerk@saccounty.net](mailto:BoardClerk@saccounty.net) prior to the meeting.

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CALL MEETING TO ORDER  
ROLL CALL  
PLEDGE  
INTRODUCTIONS  
CPAC ANNOUNCEMENTS

PLANNING PROJECT MATTERS FOR REVIEW

1. PLNP2020-00201 - Fair Oaks Water District Corporation Yard Renovation (PSS-SPP)  
(Continued From August 30, 2021; Item No.1)

Supervisorial District(s): Desmond

Assessor's Parcel Nos.: 244-0141-008 And -010

Applicant/Owner: Gutierrez/Associates/ Fair Oaks Water District

Location: 10326 Fair Oaks Boulevard Approximately 650 Feet Southeast Of The Sunrise Boulevard And Winding Way Intersection In The Fair Oaks Community.

Request: Development Plan Review To Allow A 16,390-Square-Foot, Up To 30-Foot-Tall Main Building; A 1,680-Square-Foot, 23-Foot-Tall Annex Structure; And Other Site Improvements Including Tree Removal On 1.59 Acres In The Commercial District Subarea Of The Fair Oaks Village Special Planning Area (SPA).

Special Development Permit To Allow The Annex Structure, Carport/Carwash Bays, And Trash Enclosure To Be Located Approximately Four Feet From Adjacent Existing Residential Uses To The North, Deviating From SPA Standards For The Location Of Buildings.

Final Hearing Body: Planning Commission

Lead Planner: Kimber Gutierrez, Senior Planner  
(916) 874-7529, [gutierrezk@saccounty.net](mailto:gutierrezk@saccounty.net)

Visit the Planning Project Viewer website for additional project documentation:

<https://planningdocuments.saccounty.net/ViewProjectDetails.aspx?ControlNum=PLNP2020-00201>

## MISCELLANEOUS MATTERS

2. Staff Update
3. Council Member Comments
4. Public Comments

Adjournment

Monthly Meeting Scheduled Every First (1<sup>st</sup>) Wednesday

OFFICE OF PLANNING AND ENVIRONMENTAL REVIEW  
COUNTY OF SACRAMENTO  
CALIFORNIA

To: Fair Oaks Community Planning Advisory Council (CPAC)

Subject: PLNP2020-00201. Fair Oaks Water District Corporation Yard Renovation (PSS-SPP). A Request For A Development Plan Review And Special Development Permit For A Property Located At 10326 Fair Oaks Boulevard, Approximately 650 Feet Southeast Of The Sunrise Boulevard And Winding Way Intersection, In The Fair Oaks Community.

Final Hearing

Body: Planning Commission

APNs: 244-0141-008 and -010

Supervisory

District(s): Desmond

Contact: Kimber Gutierrez, Senior Planner, (916) 874-7529,  
[gutierrezk@sacounty.net](mailto:gutierrezk@sacounty.net)

Details of Request:

- A Development Plan Review to allow a 16,390-square-foot, up to 30-foot-tall main building; a 1,680-square-foot, 23-foot-tall annex structure; and other site improvements including tree removal on 1.59 acres in the commercial district subarea of the Fair Oaks Village SPA.
- A Special Development Permit to allow the annex structure, carport/carwash bays, and trash enclosure to be located approximately four feet from adjacent existing residential uses to the north, deviating from SPA standards for the location of buildings.

Applicant:

Efren Gutierrez  
Gutierrez / Associates  
5701 International Boulevard, Suite 7  
Oakland, CA 94621

Owner:

Tom Gray  
Fair Oaks Water District  
10326 Fair Oaks Boulevard  
Fair Oaks, CA 95628

Summary of Key Points:

- The project was heard by the Design Review Advisory Committee (DRAC) on June 24, 2021. While the DRAC members expressed concern on potential noise and dust impacts and proximity to adjacent residents, they felt the architectural design of the proposed project was refined and thought it was an improvement from the existing conditions of the site. The DRAC voted to recommend the Planning Commission could find the project in substantial compliance with the Countywide Design Guidelines.
- The project was presented to the Fair Oaks CPAC on July 7, 2021 via teleconference. The CPAC members questioned and shared concern over

the minimal amount of public outreach done prior to the CPAC meeting, the logistics of public access to the parking lot, the setback deviation and close proximity of the structures to adjacent residents, and the architectural compatibility of the buildings to the surrounding area. One verbal comment was received during the meeting from the north-adjacent property owner who is opposed to the proximity of the proposed accessory structures to the north property line. After discussion and at the request of the applicant, the CPAC voted (4 Yes – 0 No, 2 Absent, 1 Abstain) to continue the item to the August 30th CPAC meeting to allow the applicant to conduct additional public outreach.

- At the August 30<sup>th</sup> CPAC meeting, the project was continued again to the October 6<sup>th</sup> CPAC meeting to allow the applicant more time to conduct outreach.
- Since the July 7<sup>th</sup> CPAC meeting, the applicant has conducted outreach in a variety of different manners and has prepared a presentation summarizing the outreach done (Attachment 1) and provided the materials used to conduct outreach (Attachment 2).
- In addition to public outreach, the applicant has revised their plans to increase the material bin height from 18 feet to 23 feet, add a partial panel to the rear of the carports, and enclose the material bins and add misters for dust control (Attachment 3).
- The project site is currently developed with structures and paved areas to support operations as the Fair Oaks Water District's (FOWD) corporation yard. The main building onsite has reached the end of its useful life, necessitating the project.
- The project proposes to renovate the FOWD corporation yard by demolishing existing structures and constructing new structures and site improvements. New structures proposed include a 16,390-square-foot, up to 30-foot-tall, main building; a 1,680-square-foot, 23-foot-tall annex structure; 23-foot-tall covered carports/carwash bays; hazardous storage shed; and a trash enclosure.
- Operations and activities at the corporation yard are not anticipated to change (or increase substantially) due to the project. Existing activities at the corporation yard include office work, deliveries, training, storage of plumbing-related materials and files, dispatching crews, movement and removal of site materials. Equipment and materials storage would be covered and located along the western and northern perimeters of the project site.
- Existing single-family residential and commercial uses abut the project site to the north and east, respectively. An existing 4.5-foot-tall retaining wall with 6-foot-tall wooden fencing on top is located along the shared property line with existing residential uses (north). Along the majority of the eastern property line, adjacent to commercial uses, a new six-foot-tall wooden fence would be installed.
- The existing driveway on Fair Oaks Boulevard and Winding Way would be maintained. Both existing driveways are currently gated (chain-linked), and are proposed to remain gated (different gate type proposed)

with the project.

- Thirteen existing trees (twelve ornamental pear and one coast redwood) along the project site's frontage with Fair Oaks Boulevard and Winding Way would be removed.
- Anticipated environmental document: Notice of Exemption (NOE).

Attachments:

CPAC ATT 1 – Outreach Presentation

CPAC ATT 2 – Outreach Materials

CPAC ATT 3 – Revised Plan Set



Fair Oaks Water District  
Corporation Yard Renovation  
PLNP2020-00201

Office of Planning and Environmental Review

October 6, 2021

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Kimber Gutierrez





**Fair Oaks CPAC  
Presentation  
October 6, 2021**

# **Fair Oaks Water District Corporation Yard Redevelopment Project**



**Tom R. Gray  
General Manager  
Fair Oaks Water District**



# Presentation Outline

1. About The District
2. Project Site History
3. Project Need
4. Project Scope
5. Customer Outreach
6. Customer Feedback
7. Fair Oaks Water District (FOWD) Response
8. Vintage Oak Lane Impacts
9. District Public Service Goals
10. Questions



# About the District

The Fair Oaks Water District is a “Fee-for-Service” special district operating in the County of Sacramento.

- ❖ FOWD revenues comes from water sales
- ❖ FOWD receives no tax money

In general, the Fair Oaks Water District can only spend ratepayer money on water related projects.



# About the District

Given the rules and regulations for FOWD operations, the primary benefits of the Corporation Yard Redevelopment Project must be related to the mission of the District.

- ❖ All other public benefit must be residual to the project and therefore must have little financial or operational impact.



# Project Site History

FOWD purchased the 1.59 acre site in 1979 from the Diamond International Company, which previously used the facility as a lumberyard. The site's main building is a heavy timber structure reportedly built in the 1920s or 30s.

*The current facility is nearly 100 years old!*



# Project Site History

Over the more than 40-plus years that FOWD has owned the site, the District has made minor renovations to the main building and property to accommodate changed conditions and to repair flood damage.



# Project Need

There are drainage and flooding problems. The current site slopes towards the main building with the existing drainage infrastructure being inadequate during heavy rain periods - causing water to frequently drain into the building.





# Project Need

Existing restrooms do not comply with current ADA (Americans with Disability Act) accessibility codes - counters and doorways throughout the building are not ADA accessible.

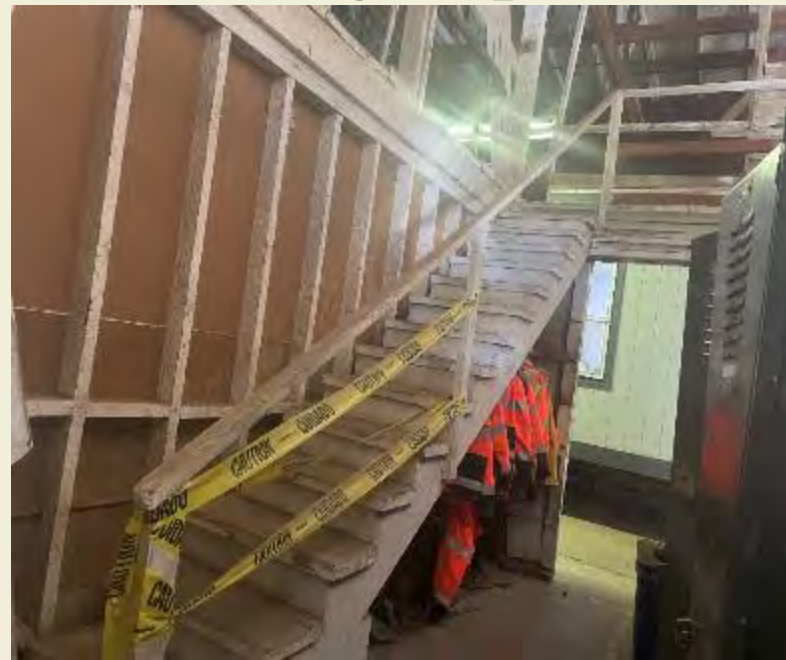






# Project Need

Preliminary structural investigations indicate the building does not meet current building codes, including seismic or wind loading requirements.





# Project Need

The existing office space is inadequately ventilated, worn and poorly lit.





# Project Need

The ceiling in the main building is not sealed - allowing external dust to settle into the interior office spaces, computers and air space.

Animals routinely reside in the buildings and on the site – resulting in frequent flea infestations that impact FOWD staff.



# Project Need

The existing site cannot be maintained in a manner that makes it an asset to the Fair Oaks Village.





# Project Scope

FOWD is planning a major renovation of its Corporation Yard located at 10317 Fair Oaks Boulevard in order to:

- ❖ Increase the quality of public service
- ❖ Accommodate internal needs
- ❖ Enhance our presence in the Fair Oaks Village



# Project Scope

In general, the intended outcome of the project is to replace the existing site infrastructure with safer, more efficient, and aesthetically pleasing upgrades in a cost efficient manner.

- ❖ Existing site function will not change
- ❖ Employee count will not change
- ❖ Traffic impacts are estimated at zero



# Project Status

The project is currently in the planning and preliminary design stage – therefore all comments received on the project are relevant and timely.



# Customer Outreach

At the July 7, 2021 Fair Oaks Community Planning Advisory Council (CPAC) meeting, it was clear that both the Public and Council thought that public outreach completed to date was poor.

*Without making any excuses, FOWD Management agreed with the assessment of the projects outreach to date ... and set out on a mission to exceed expectations of both our Customers and the Council.*





# Customer Outreach

The following documents were developed for immediate public distribution after the July 7, 2021 CPAC meeting.

1. A written summary of the project for use at all meetings and for mass distribution to anybody that may have interest in the project.
2. A written announcement for a public workshop scheduled for August 18, 2021.



# Customer Outreach

## FOWD Staff Customer Outreach – Corporation Yard Redevelopment Project – Since July 7, 2021

Item	Date	Task
1	July 28, 2021	AM discussion and materials distribution to the Fair Oaks Village Enhancement Committee (FOVEC)
		Post documents from items 1&2 on FOWD Website
		Post documents from items 1&2 outside of FOWD Administration Building
		Add documents from items 1&2 to the County sign posted at the project location as takeaways
		Send documents from items 1&2 to FOWD email distribution list
		PM Presentation to the Fair Oaks Community Action Partnerships (FOCAP)
2	July 29, 2021	Hand deliver documents from items 1&2 to project neighbors
3	August 3, 2021	Distribute documents from items 1&2 to Fair Oaks Chamber Members
4	August 10, 2021	Vintage Oaks Lane Neighborhood Meeting
5	August 9, 2021	Presentation at FOWD Board Meeting
6	August 18, 2021	Community Presentation hosted at the FOWD
7	August 23, 2021	Presentation to Fair Oaks Rotary Club
8	October 6, 2021	Presentation to Fair Oaks CPAC



# Customer Feedback

- ❖ Public outreach for the project was poor
- ❖ FOWD should move the Corporation Yard outside of the Village SPA
- ❖ FOWD should add more parking to the Village SPA
- ❖ The Spanish Eclectic style does not fit into the Fair Oaks Village



# Customer Feedback

- ❖ The Spanish Eclectic style will dominate the Fair Oaks Village
- ❖ FOWD did not follow through on promises made to the public when the administration building was approved



# FOWD Response

Public outreach for the project was poor

*FOWD agreed and it is the hope of FOWD Management that documented actions since July 7, 2021 have exceeded the expectations of our customers and the CPAC members.*



# FOWD Response

FOWD should move the Corporation Yard outside of the Village SPA

*After over 16 years serving the community of Fair Oaks as the District's General Manager, I have never been presented a proposal for relocating the Corp Yard - FOWD projects represent the largest investments in redevelopment of the Village SPA.*



# FOWD Response

FOWD should move the Corporation Yard outside of the Village SPA

*Assuming a rezone and extensive permitting would be required to relocate the Corp Yard within the community of Fair Oaks – the additional cost would result in an unnecessary financial impact to FOWD ratepayers.*



# FOWD Response

FOWD should add more parking to the Village SPA

*Preliminary project design results in the following:*

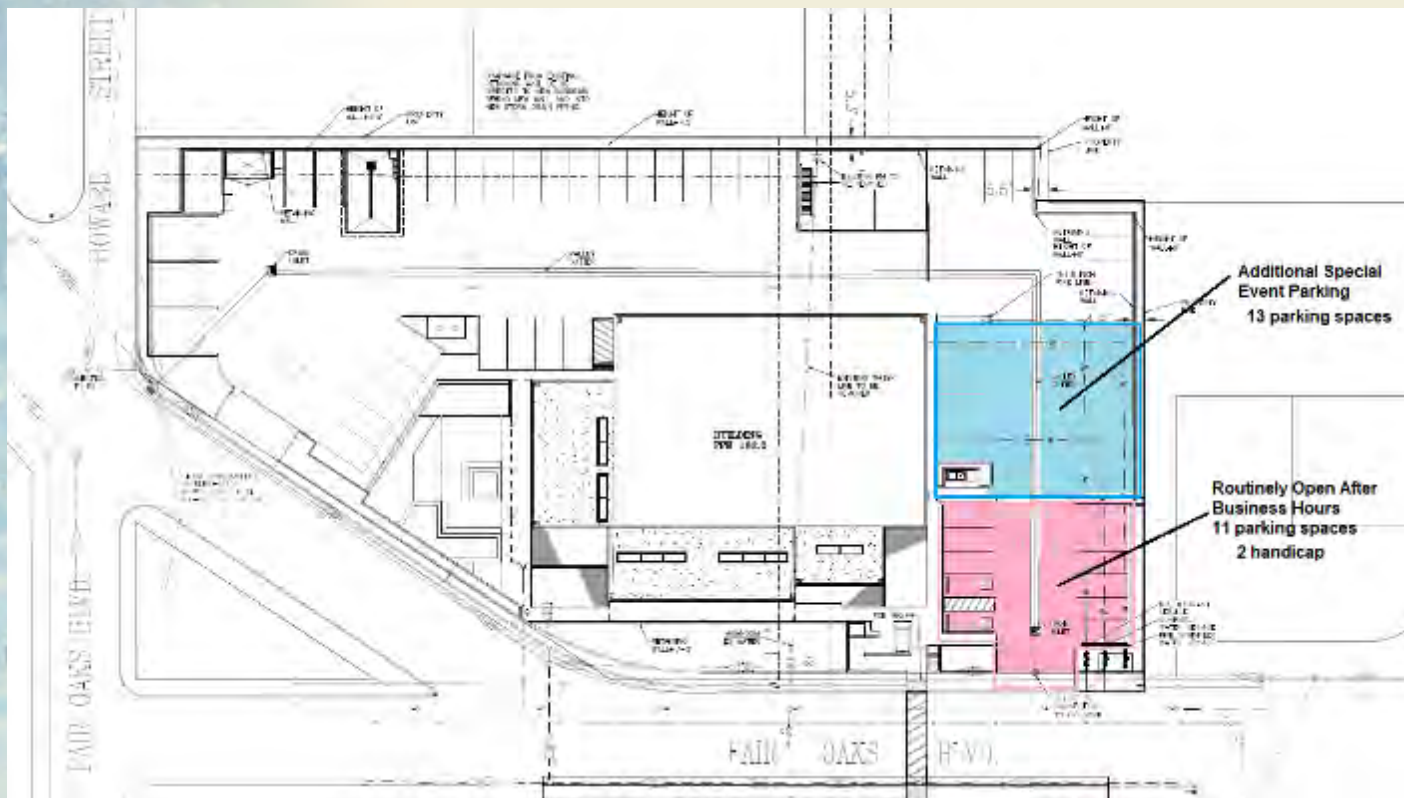
- ❖ *Up to 11 parking spaces available to the public during non-work hours.*
- ❖ *Up to 24 parking spaces available to the public during weekend special events.*





# FOWD Response

FOWD should add more parking to the Village SPA





# FOWD Response

FOWD has and will add more parking to the Village SPA

*Combining the parking at the FOWD Admin. Building (27) and this project results in FOWD being responsible for:*

- ❖ *Up to 38 parking spaces available to the public during non-work hours.*
- ❖ *Up to 51 parking spaces available to the public during weekend special events.*



# FOWD Response

FOWD should add more parking to the Village SPA

*Please clearly note that providing public parking to the FO Village is secondary to the mission of the FOWD. Though important to the FOWD as neighbor and friend to the FO Village, any significant or ongoing negative issues with public parking will result in restricting use to accomplishing the FOWD mission.*



# FOWD Response

The Spanish Eclectic style does not fit into the Fair Oaks Village

*During the extensive public outreach completed in 2007 for the FOWD Administration Building Project, it was understood that the conceptual design scheme selected would also be used for the redevelopment of the FOWD site located at 10317 Fair Oaks Boulevard – with the community clearly expressing that the Spanish Eclectic design concept best represented the community of Fair Oaks and the Fair Oaks Village.*



# FOWD Response

The Spanish Eclectic style will dominate the Fair Oaks Village

*The public determined that the Spanish Eclectic Concept also tied into the existing architectural expression of the buildings that make up the village center, including the theater building and the community clubhouse – stating that the proposed concept has a modest presence and an old town look which the public felt was important.*



# FOWD Response

FOWD did not follow through on promises made to the public when the Administration Building was approved

❖ FOWD did not provide public parking

*It is true that the FOWD does not provide 24/7 access to our Administration Building parking – but we do allow public parking after normal business hours and on weekends – when the Village needs the parking most.*



# FOWD Response

FOWD did not follow through on promises made to the public when the administration building was approved

- ❖ FOWD did not provide use of the facilities to the public

*FOWD stated that the new facilities could be seen as the FO location for public government – FOWD routinely host local government meetings.*



# Vintage Oak Lane Impacts

## Vintage Oak Lane Neighbor Concerns & Requests

- ❖ Visual Impacts
- ❖ Noise
- ❖ Dust
- ❖ Keep Existing Walnut Tree
- ❖ Home Value Impact
- ❖ Move Materials Storage to a Different Location Onsite





# Vintage Oak Lane Impacts

## Visual Impacts

In an attempt to mitigate visual impacts the following revisions were completed:

- *Proposed structure heights were increased from 18 Ft to 23 Ft in height.*
- *Screening panels were added to structures facing the northern property line.*
- *Trees are proposed to be planted in consultation with the neighbors on their property.*



# Vintage Oak Lane Impacts

## Noise Impacts

In an attempt to mitigate noise impacts the following revisions were completed:

- *All proposed structures were relocated to at least 10 Ft from the northern property line.*
- *All materials bins were redesigned with full walls on the back and sides.*
- *A partial rear wall was added to the parking structures along the northern property line.*



# Vintage Oak Lane Impacts

## Dust Impacts

In an attempt to mitigate dust impacts the following revisions were completed:

- *All proposed structures were relocated to at least 10 Ft from the northern property line.*
- *All materials bins were redesigned with full walls on the back and sides.*
- *Misters will be added to the material bins.*



# Vintage Oak Lane Impacts

## Keep Existing Walnut Tree

Due to the removal of existing utility infrastructure and installation of required drainage facilities, the existing walnut could not be saved.

In an attempt to mitigate removal of the existing walnut tree on FOWD property the following revisions were completed:

- *Proposed structure heights were increased from 18 Ft to 23 Ft in height.*
- *A large replacement tree is proposed to be planted in a neighbor's yard.*



# Vintage Oak Lane Impacts

## Relocate Material Bins

*The proposed design provides a positive impact to the maximum number of Fair Oaks community members by shielding the more industrial FOWD activities from Fair Oaks Boulevard – which then results in the concerns of the Vintage Oaks Lane neighbors.*

*In an effort to mitigate these concerns, it is our goal to provide a net result that improves upon FOWD's current impact on Vintage Oak Lane properties.*



# Vintage Oak Lane Impacts

Aerial View @ North Property Line





# Vintage Oak Lane Impacts

Increase Material Bin Height from 18 Ft to 23 Ft





# Vintage Oak Lane Impacts

Add Partial Panel to Rear of Parking Structure







# Vintage Oak Lane Impacts

Enclose Material Bins & Add Misters





# Vintage Oak Lane Impacts

Neighbor View with Walnut Tree Removed





# Vintage Oak Lane Impacts

Neighbor View with New Tree Over Time





# District Public Service Goals

The goal of the FOWD is to provide a high quality and reliable water supply to our customers while maintaining a reputation for outstanding customer service.

*We will continually strive to work in our community's interest, modeling integrity, honesty, dependability, enthusiasm, and professionalism.*

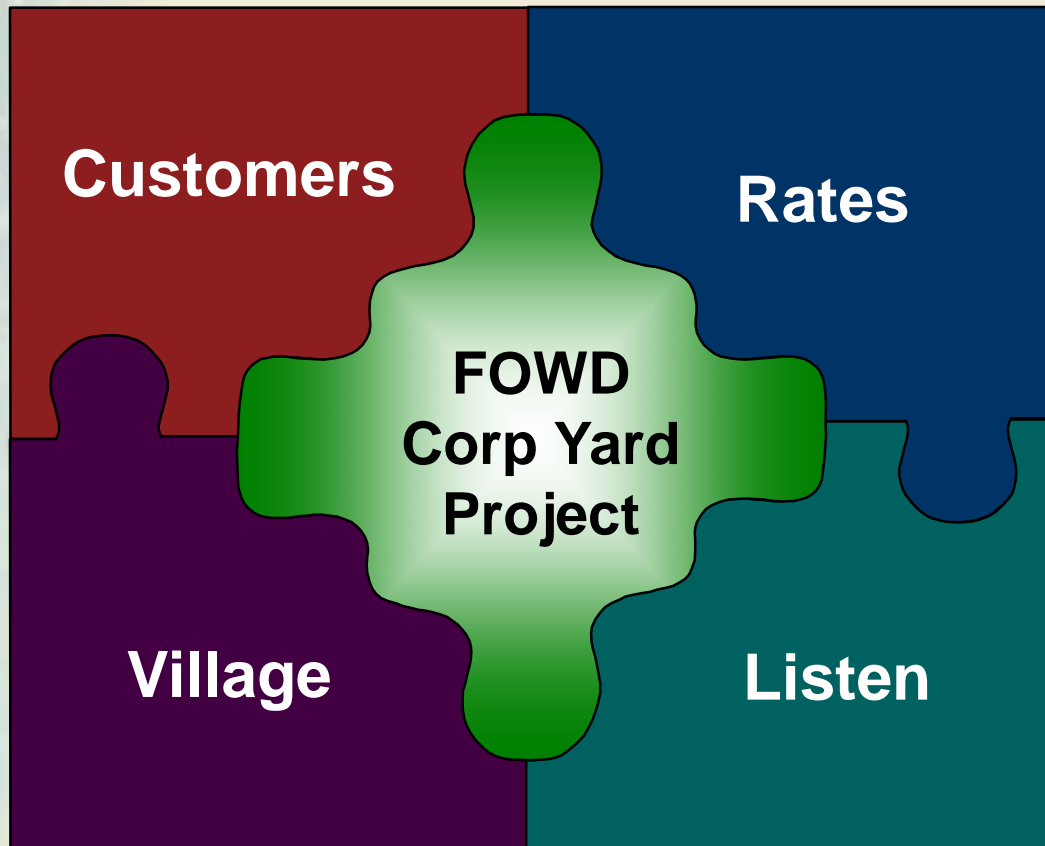
# Proposed FO Village Investment





FAIR OAKS  
WATER DISTRICT

# Questions?



# Fair Oaks Water District Corporation Yard Redevelopment Project Public Outreach Document

July 2021



## Background:

Fair Oaks Water District (FOWD) is planning to renovate its corporation yard located at 10317 Fair Oaks Boulevard in order to increase the quality of public service, accommodate internal needs and improve our presence in the Fair Oaks Village.

FOWD purchased the current site in 1979 from the Diamond International Company, which previously used the facility as a lumberyard. The site's main building is a heavy timber structure reportedly built in the 1920s or 30s.

Over the more than 40-plus years that FOWD has owned the site, the District has renovated the main building and property a number of times to accommodate current regulations and to repair damage from rain and flooding. Still, there continues to be major problems with the existing structure and site.

## Problems with the existing structure and site include the following:

- ◆ There are drainage and flooding problems. The current site slopes towards the main building with the existing drainage infrastructure being inadequate during heavy rain periods - causing water to frequently drain into the building.
- ◆ Animals routinely reside in the buildings and on the site – resulting in frequent flea infestations that impact FOWD staff.
- ◆ Existing restrooms do not comply with current ADA (Americans with Disability Act)/Title 24 accessibility codes - counters and doorways throughout the building are not ADA accessible.

- ◆ Preliminary structural investigations indicate the building does not meet current building codes, including seismic or wind loading requirements.
- ◆ Public parking and signage is limited and confusing: the one small lot for public parking contains only one handicapped stall and unmarked spaces for up to five cars.
- ◆ The existing office space is inadequately ventilated, worn and poorly lit.
- ◆ The existing site cannot be maintained in a manner that makes it an asset to the Fair Oaks Village.
- ◆ The ceiling in the main building is not sealed - allowing external dust to settle into the interior office spaces, computers and air space.

### **Renovation and Site Redevelopment:**

In 2007, the Fair Oaks Water District completed a series of meetings to provide the Fair Oaks Community an opportunity to give input on the look and feel of the new Fair Oaks Water District Administration Center and Corporation Yard. At each of these public meetings District representatives asked the public questions and listened to input. The objective of each of the meetings was to document the public's ideas and concerns, and to provide answers to specific questions.

At the first meetings, District representatives asked the public for input on two questions: What is Fair Oaks? What is Civic? Using the public's answers to the two questions, and all the other input received at the first meetings, three design concepts were developed. These three design concepts were presented at the next public meetings hosted by the FOWD. All attending these meetings were asked which conceptual design option best represented an appropriate architectural expression for a public building in Fair Oaks. Based on the comments received, the public selected the Spanish eclectic design concept that resulted in the construction of the current FOWD administrative building.

During the extensive public outreach completed in 2007, it was understood that the conceptual design scheme selected would also be used for the redevelopment of the FOWD site located at 10317 Fair Oaks Boulevard – with the community clearly expressing that the Spanish eclectic design concept best represented the community of Fair Oaks and the Fair Oaks Village.

The proposed design for the redevelopment of the FOWD corporation yard is based on the above and input at many public Board meetings throughout 2019 and 2020.



## **Benefits to the Fair Oaks Village:**

While the primary intended outcome of the FOWD Corporation Yard Project is to meet the mission of the FOWD, completion of the project will bring many benefits to the Fair Oaks Village.

- ◆ Cleaner look to a Fair Oaks Village anchor property.
- ◆ Public sidewalk improvements on a main access to the Fair Oaks Village.
- ◆ Up to 10 parking spaces available to the public during non-work hours.
- ◆ Up to 20 parking spaces available to the public during weekend special events.

## **Key Points Learned from Public Meetings:**

What is Fair Oaks?

The Fair Oaks Village has a sense of place, comprised of an eclectic blend of commercial, residential, and civic buildings surrounding a central gathering space that includes the park, community clubhouse, and the theater.

What is Civic?

Civic buildings in Fair Oaks should represent the best of the community: proud, friendly, and understated. Such a building should stand out while complimenting the existing village architectural fabric. The public decided that the “tutor” style was a late comer to Fair Oaks and too residential to demonstrate a civic face for a public building. The Spanish eclectic, mission, and contemporary styles evident in the Village are more suitable for a public venue.

What is an appropriate architectural expression for a public building in Fair Oaks?

The public selected a Spanish eclectic design concept as the preferred style for a new FOWD Administration Building and for a future Corporation Yard Redevelopment Project. The public felt it was dynamic, complimentary to the village architectural fabric, and provided a civic feel without being overstated. This option also tied into the existing architectural expression of the buildings that make up the village center, including the theater building and the community clubhouse. The proposed concept has a modest presence and an old town look which the public felt was important.

# MEMORANDUM



**To:** S. Huckaby, P. Siebensohn, C. Ha-Ly  
**Copy:** GA Associates  
**From:** Tom R. Gray  
**Date:** July 27, 2021  
**Subject:** FOWD Corporation Yard Project

At the July 7, 2021 Fair Oaks Community Planning Advisory Committee (CPAC) meeting, FOWD staff committed to completing additional public outreach on the FOWD Corporation Yard Project prior to the September 2021 CPAC meeting.

The following plan was developed for accomplishing this task:

1. Create a public outreach document for use at all meetings and for distribution to others that would have interest in the project.
  - a. This task is complete and a copy of the document is attached to this memo.
2. Develop an announcement for a public workshop to be held in the FOWD Board room.
  - a. This task is complete and a copy of the document is attached to this memo.

<b>TABLE 1</b>		
<b>Item</b>	<b>Date</b>	<b>Task</b>
1	July 28, 2021	AM discussion and materials distribution to the Fair Oaks Village Enhancement Committee Post documents from items 1&2 on FOWD Website Post documents from items 1&2 outside of FOWD Administration Building Add documents from items 1&2 to the County sign posted at the project location as takeaways Send documents from items 1&2 to FOWD email distribution list PM Presentation to the Fair Oaks Community Action Partnerships (FOCAP)
2	July 29, 2021	Hand deliver documents from items 1&2 to project neighbors
3	August 3, 2021	Distribute documents from items 1&2 to Fair Oaks Chamber Members

4	August 9, 2021	Presentation at FOWD Board Meeting
5	August 18, 2021	Community Presentation hosted at the FOWD
6	August 23, 2021	Presentation to Fair Oaks Rotary Club
7	September 1, 2021	Presentation to Fair Oaks CPAC

<b>TABLE 2</b>	
<b>Item</b>	<b>Lead Team Member</b>
1	FOWD Staff to complete
2	FOWD Staff to complete
3	FOWD Staff to complete
4	FOWD Staff to complete
5	FOWD to complete w/ GA attending in support
6	FOWD Staff to complete
7	TBD

# Public Meeting



**FAIR OAKS**  
**WATER DISTRICT**

**Date:** August 18, 2021  
**Time:** 6:30 PM  
**Meeting Location:** Fair Oaks Water District  
Administration Building 10326  
Fair Oaks Boulevard

**Meeting Purpose:**

This is part of a series of meetings to provide the Fair Oaks Community an opportunity to give input on the look and feel of the redevelopment of the Fair Oaks Water District Corporation Yard located at 10317 Fair Oaks Boulevard.

*“The new facility should evoke a sense of civic pride while serving the mission of the Fair Oaks Water District.”*

**Please attend and provide your input!**

# Fair Oaks Water District Corporation Yard Redevelopment Project Public Outreach Document

July 2021



## **Background:**

Fair Oaks Water District (FOWD) is planning to renovate its corporation yard located at 10317 Fair Oaks Boulevard in order to increase the quality of public service, accommodate internal needs and improve our presence in the Fair Oaks Village.

FOWD purchased the current site in 1979 from the Diamond International Company, which previously used the facility as a lumberyard. The site's main building is a heavy timber structure reportedly built in the 1920s or 30s.

Over the more than 40-plus years that FOWD has owned the site, the District has renovated the main building and property a number of times to accommodate current regulations and to repair damage from rain and flooding. Still, there continues to be major problems with the existing structure and site.

## **Problems with the existing structure and site include the following:**

- ◆ There are drainage and flooding problems. The current site slopes towards the main building with the existing drainage infrastructure being inadequate during heavy rain periods - causing water to frequently drain into the building.
- ◆ Animals routinely reside in the buildings and on the site – resulting in frequent flea infestations that impact FOWD staff.
- ◆ Existing restrooms do not comply with current ADA (Americans with Disability Act)/Title 24 accessibility codes - counters and doorways throughout the building are not ADA accessible.

- ◆ Preliminary structural investigations indicate the building does not meet current building codes, including seismic or wind loading requirements.
- ◆ Public parking and signage is limited and confusing: the one small lot for public parking contains only one handicapped stall and unmarked spaces for up to five cars.
- ◆ The existing office space is inadequately ventilated, worn and poorly lit.
- ◆ The existing site cannot be maintained in a manner that makes it an asset to the Fair Oaks Village.
- ◆ The ceiling in the main building is not sealed - allowing external dust to settle into the interior office spaces, computers and air space.

### **Renovation and Site Redevelopment:**

In 2007, the Fair Oaks Water District completed a series of meetings to provide the Fair Oaks Community an opportunity to give input on the look and feel of the new Fair Oaks Water District Administration Center and Corporation Yard. At each of these public meetings District representatives asked the public questions and listened to input. The objective of each of the meetings was to document the public's ideas and concerns, and to provide answers to specific questions.

At the first meetings, District representatives asked the public for input on two questions: What is Fair Oaks? What is Civic? Using the public's answers to the two questions, and all the other input received at the first meetings, three design concepts were developed. These three design concepts were presented at the next public meetings hosted by the FOWD. All attending these meetings were asked which conceptual design option best represented an appropriate architectural expression for a public building in Fair Oaks. Based on the comments received, the public selected the Spanish eclectic design concept that resulted in the construction of the current FOWD administrative building.

During the extensive public outreach completed in 2007, it was understood that the conceptual design scheme selected would also be used for the redevelopment of the FOWD site located at 10317 Fair Oaks Boulevard – with the community clearly expressing that the Spanish eclectic design concept best represented the community of Fair Oaks and the Fair Oaks Village.

The proposed design for the redevelopment of the FOWD corporation yard is based on the above and input at many public Board meetings throughout 2019 and 2020.

## **Benefits to the Fair Oaks Village:**

While the primary intended outcome of the FOWD Corporation Yard Project is to meet the mission of the FOWD, completion of the project will bring many benefits to the Fair Oaks Village.

- ◆ Cleaner look to a Fair Oaks Village anchor property.
- ◆ Public sidewalk improvements on a main access to the Fair Oaks Village.
- ◆ Up to 10 parking spaces available to the public during non-work hours.
- ◆ Up to 20 parking spaces available to the public during weekend special events.

## **Key Points Learned from Public Meetings:**

What is Fair Oaks?

The Fair Oaks Village has a sense of place, comprised of an eclectic blend of commercial, residential, and civic buildings surrounding a central gathering space that includes the park, community clubhouse, and the theater.

What is Civic?

Civic buildings in Fair Oaks should represent the best of the community: proud, friendly, and understated. Such a building should stand out while complimenting the existing village architectural fabric. The public decided that the “tutor” style was a late comer to Fair Oaks and too residential to demonstrate a civic face for a public building. The Spanish eclectic, mission, and contemporary styles evident in the Village are more suitable for a public venue.

What is an appropriate architectural expression for a public building in Fair Oaks?

The public selected a Spanish eclectic design concept as the preferred style for a new FOWD Administration Building and for a future Corporation Yard Redevelopment Project. The public felt it was dynamic, complimentary to the village architectural fabric, and provided a civic feel without being overstated. This option also tied into the existing architectural expression of the buildings that make up the village center, including the theater building and the community clubhouse. The proposed concept has a modest presence and an old town look which the public felt was important.

**From:** [Tom Gray](#)  
**To:** [Gutierrez, Kimber](#)  
**Cc:** [Mara Gutierrez](#)  
**Subject:** RE: PLNP2020-00201 FOWD Corporation Yard Redevelopment Project  
**Date:** Thursday, July 29, 2021 3:45:27 PM  
**Attachments:** [7-29-2021 Neighbor door-to-Door - Corp Yard Project Outreach.pdf](#)

---

**EXTERNAL EMAIL:** If unknown sender, **do not** click links/attachments.

Kimber:

FYI – Today the attached document was individually addressed and hand delivered to sixteen individual properties that are closest to the FOWD Corporation Yard. At delivery I was able to discuss the project directly with individuals at nine of the sixteen properties.

Best Wishes,

*Tom R. Gray*

General Manager

Fair Oaks Water District

10326 Fair Oaks Boulevard

Fair Oaks, CA 95628

(916) 967-5723

[tgray@fowd.com](mailto:tgray@fowd.com)

*“It is amazing what can be accomplished when you don’t care who gets the credit”*



# MEMORANDUM

---



**To:** Valued Fair Oaks Water District Neighbor  
**Copy:** Project File  
**From:** Tom R. Gray, FOWD General Manager  
**Date:** July 28, 2021  
**Subject:** FOWD Corporation Yard Redevelopment Project

---

## **HAND DELIVERED *INDIVIDUAL ADDRESS ENTERED***

The Fair Oaks Water District (FOWD) is in the planning and design phase of the redevelopment of the District's corporation yard located at 10317 Fair Oaks Boulevard. As a neighbor to the property site, we wanted to contact you personally and provide you with the following:

1. A copy of the notice advertising a public workshop on the project scheduled for August 18, 2021
2. A copy of the Public Outreach Document on the project
3. My direct email address ([tgray@fowd.com](mailto:tgray@fowd.com)) for delivery of any questions or concerns relative to the project
4. An offer to meet you or you and a group of your neighbors at either one of your houses or in the FOWD board Room to discuss the project

# Public Meeting



**FAIR OAKS**  
WATER DISTRICT

**Date:** August 18, 2021

**Time:** 6:30 PM

**Meeting Location:** Fair Oaks Water District  
Administration Building 10326  
Fair Oaks Boulevard

## Meeting Purpose:

This is part of a series of meetings to provide the Fair Oaks Community an opportunity to give input on the look and feel of the redevelopment of the Fair Oaks Water District Corporation Yard located at 10317 Fair Oaks Boulevard.

*“The new facility should evoke a sense of civic pride while serving the mission of the Fair Oaks Water District.”*

**Please attend and provide your input!**



# Fair Oaks Water District Corporation Yard Redevelopment Project

**Vintage Oak Lane  
Neighbor  
Presentation  
September 16, 2021**



**Tom R. Gray  
General Manager  
Fair Oaks Water District**



# Presentation Outline

1. Project Site History
2. Project Scope
3. Vintage Oak Lane Impacts
4. District Public Service Goals
5. Questions



# Project Site History

FOWD purchased the 1.59 acre site in 1979 from the Diamond International Company, which previously used the facility as a lumberyard. The site's main building is a heavy timber structure reportedly built in the 1920s or 30s.

*The current facility is nearly 100 years old!*



# Project Site History

Over the more than 40-plus years that FOWD has owned the site, the District has made minor renovations to the main building and property to accommodate changed conditions and to repair flood damage.



# Project Scope

In general, the intended outcome of the project is to replace the existing site infrastructure with safer, more efficient, and aesthetically pleasing upgrades in a cost efficient manner.

- ❖ Existing site function will not change
- ❖ Employee count will not change
- ❖ Traffic impacts are estimated at zero



# Vintage Oak Lane Impacts

## Vintage Oak Lane Neighbor Concerns & Requests

- ❖ Visual Impacts
- ❖ Noise
- ❖ Dust
- ❖ Keep Existing Walnut Tree
- ❖ Home Value Impact
- ❖ Move Materials Storage to a Different Location Onsite





# Vintage Oak Lane Impacts

## Visual Impacts

In an attempt to mitigate visual impacts the following revisions were completed:

- *Proposed structure heights were increased from 18 Ft to 23 Ft in height.*
- *Screening panels were added to structures facing the northern property line.*
- *Trees are proposed to be planted in consultation with the neighbors on their property.*



# Vintage Oak Lane Impacts

## Noise Impacts

In an attempt to mitigate noise impacts the following revisions were completed:

- *All proposed structures were relocated to at least 10 Ft from the northern property line.*
- *All materials bins were redesigned with full walls on the back and sides.*
- *A partial rear wall was added to the parking structures along the northern property line.*



# Vintage Oak Lane Impacts

## Dust Impacts

In an attempt to mitigate dust impacts the following revisions were completed:

- *All proposed structures were relocated to at least 10 Ft from the northern property line.*
- *All materials bins were redesigned with full walls on the back and sides.*
- *Misters will be added to the material bins.*



# Vintage Oak Lane Impacts

## Keep Existing Walnut Tree

Due to the removal of existing utility infrastructure and installation of required drainage facilities, the existing walnut could not be saved.

In an attempt to mitigate removal of the existing walnut tree on FOWD property the following revisions were completed:

- *Proposed structure heights were increased from 18 Ft to 23 Ft in height.*
- *A large replacement tree is proposed to be planted in a neighbor's yard.*



# Vintage Oak Lane Impacts

## Home Value

Current operations by the FOWD at the Corporation Yard existed prior to the building of the homes on Vintage Oak Lane and therefore were always known and factored into Vintage Oak Lane home values.

*It is our hope that completion of the FOWD Corporation Yard Redevelopment Project - and the proposed mitigation measures to reduce impacts to our neighbors - will result in a positive impact to the home values of our neighbors.*



# Vintage Oak Lane Impacts

## Relocate Material Bins

*The proposed design provides a positive impact to the maximum number of Fair Oaks community members by shielding the more industrial FOWD activities from Fair Oaks Boulevard – which then results in the concerns of the Vintage Oaks Lane neighbors.*

*In an effort to mitigate these concerns, it is our goal to provide a net result that improves upon FOWD's existing impacts on Vintage Oak Lane properties.*



# Vintage Oak Lane Impacts

Aerial View @ North Property Line





# Vintage Oak Lane Impacts

Increase Material Bin Height from 18 Ft to 23 Ft







# Vintage Oak Lane Impacts

Add Partial Panel to Rear of Parking Structure





# Vintage Oak Lane Impacts

Enclose Material Bins & Add Misters





# Vintage Oak Lane Impacts

Neighbor View with Walnut Tree Removed





# Vintage Oak Lane Impacts

Neighbor View with New Tree Over Time





# District Public Service Goals

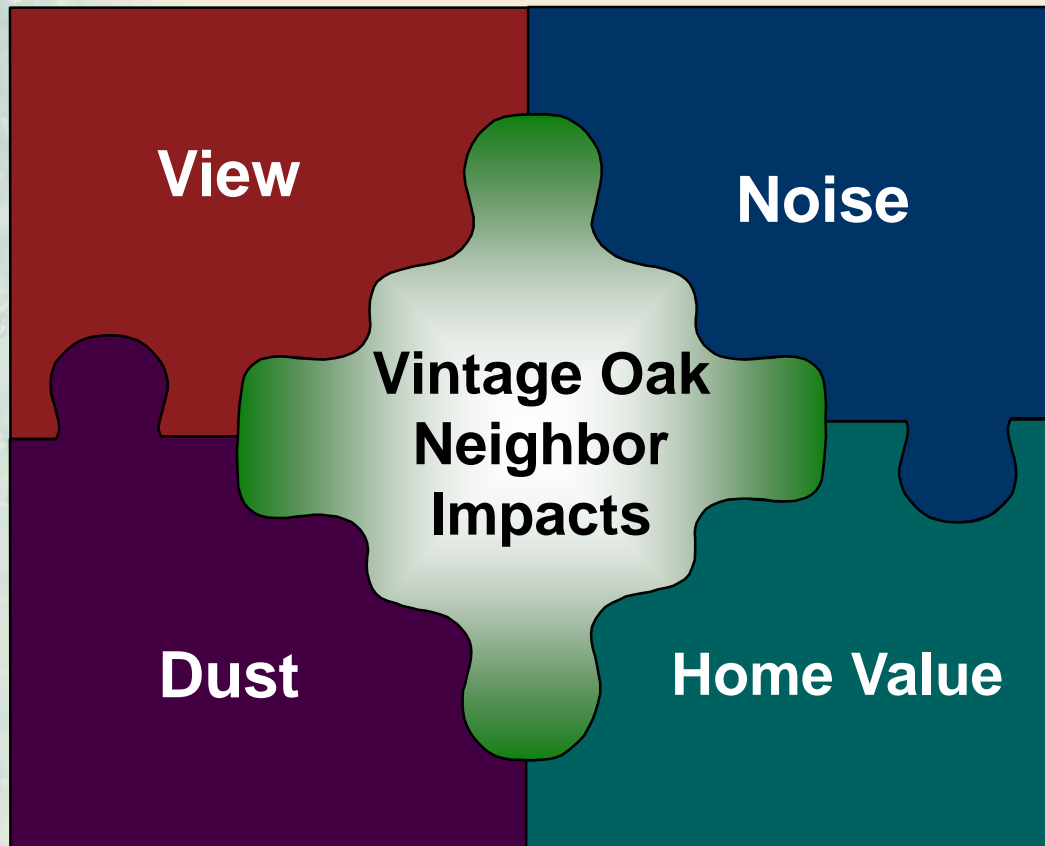
The goal of the FOWD is to provide a high quality and reliable water supply to our customers while maintaining a reputation for outstanding customer service.

*We will continually strive to work in our community's interest, modeling integrity, honesty, dependability, enthusiasm, and professionalism.*

# Proposed FO Village Investment



# Questions?



# FAIR OAKS OPERATIONS FACILITY

## PROJECT DIRECTORY

### Owner:

Fair Oaks Water District

Contact: Tom Gray, General Manager  
Email: tgray@fowd.com

### Architect:

Gutierrez Associates  
5701 International Blvd Suite 7  
Oakland, CA 94621  
Telephone: 510.839.3311

Contact: Efen Gutierrez  
email: efren@gaarchitecture.com

### Civil Engineer:

Steve Nelson  
S2~J2 Engineering, Inc.  
18700 Janach Crt  
Cottonwood, CA 96022  
ph: (o) (530) 347-5168  
(c) (530) 945-6076  
email: sdnelson@shasta.com

Landscape Engineer:  
Michael Lander ASLA  
Landscape Architecture  
20270 Lupine Drive  
Redding, CA 96002  
ph: (o) (530) 223-2488  
email: mlander@shasta.com



## PROJECT DESCRIPTION

Currently the Water district of Fair Oaks is operating a Corporation Yard at 10317 Fair Oaks Boulevard. The water district has been operating on the site since 1979. Regular business hours are from 8am to 5pm and the amount of employees on the site are up to 17.

The activities that take place on site are; office work, deliveries, training, storage of plumbing related materials, dispatching crews, storage and removal of site materials. Ten years ago the District relocated the majority of the public activities as they relate to water service across the street to a new building designed in Spanish Revival Architecture. The Water district considers themselves a steward of the town, and have taken steps to integrate their operations into the Architecture adopted by the Spanish Revival Architecture of the Town.

The existing building has reaching the end of its useful life, Fair Oaks Water District would like to replace their existing building with a modern Spanish Revival building that meets their needs and current building code.

The new building proposes a 16,390sf building with an annex structure for record retention of 1,608sf. The site will include; material storage bins, trash enclosure, secure storage, and covered parking stalls throughout the site. The office operational area of the building will consist of offices at street level to Fair Oaks Boulevard, complementing the Spanish Revival Architecture of the Town and the shop portion of the facility will be a non-descript white metal insulated panel warehouse placed behind. Landscaping will be used to screen the site, and the building will be stepped back from the street level. The proposed structures will be similar in size and stature to the existing structures.

## BUILDING DATA

PROJECT APN: 244-0141-008 and 010

BUILDING FOOTPRINT	16,390 SF
OFFICE	6,396 SF
WAREHOUSE	10,000 SF
2ND FLOOR MEZZANINE.	4,186 SF
RECORD RETENTION BUILDING	1,350 SF
MEZZANINE	831 SF
COVERED PARKING	11,660 SF
CUSTOMER PARKING	11 7 STALLS 2 ADA 2 CLEAN AIR
EMPLOYEE PARKING	56 STALLS 18 WORK FLEET 27 STALLS
LOT SURFACE	32,573 SF
LANDSCAPING	7,445 SF
WALKWAYS	6,514 SF
AFTER HOUR/COMMUNITY EVENT PARKING	31 STALLS+ 2 HANDICAP STALLS

## SHEET INDEX

T1 SITEPLAN, PROJECT DATA

CIVIL

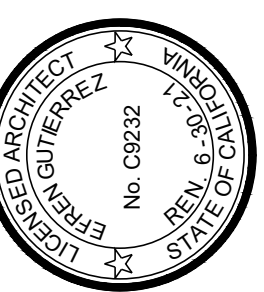
1 of 4 EXISTING SITE PLAN  
2 of 4 PROPOSED GRADING PLAN  
3 of 4 PROPOSED UTILITY PLAN  
4 of 4 STORMWATER PLAN

LANDSCAPE

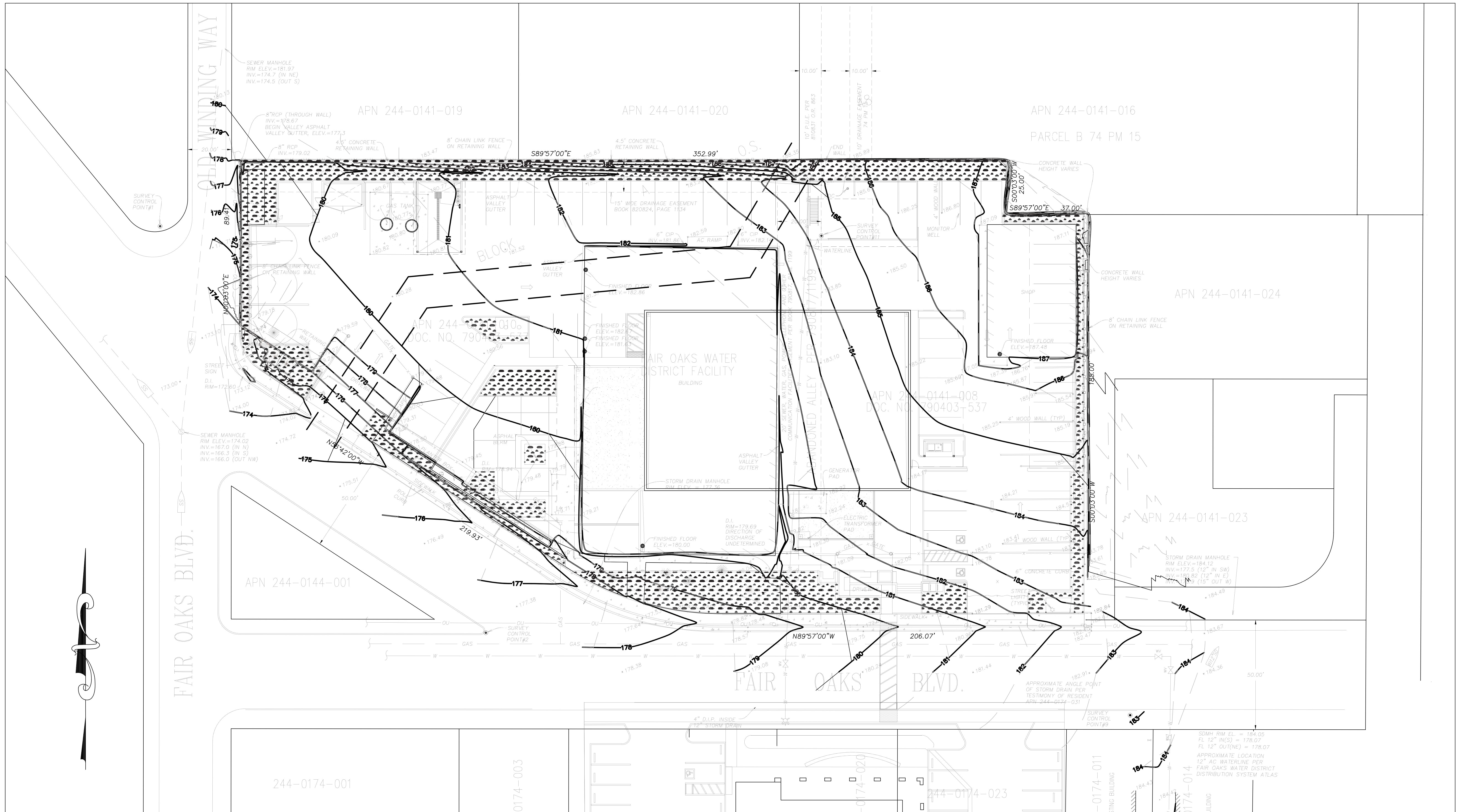
L1 CONCEPTUAL LANDSCAPE PLAN

ARCHITECTURAL

A0.1 SITE PLAN  
A0.2 CONTEXT DRAWING  
A1.0 FIRST FLOOR PLAN  
A1.1 MEZZANINE PLAN  
A1.2 ROOF PLAN  
A3.0 EXTERIOR ELEVATION  
A3.1 EXTERIOR ELEVATION  
A3.1a EXTERIOR ELEVATION  
A3.1b EXTERIOR ELEVATION  
A3.2 PERSPECTIVE  
A3.3 PERSPECTIVE  
A3.4 PERSPECTIVE  
A3.5 PERSPECTIVE







NO.	REVISIONS	DATE	APPD.

SCALE: 1"= 20'
HORIZ. 1"=
VERT. 1"=

COMPUTED	SDN
DESIGNED:	SDN
DRAWN:	SDN
PROJ. ENG.:	SDN

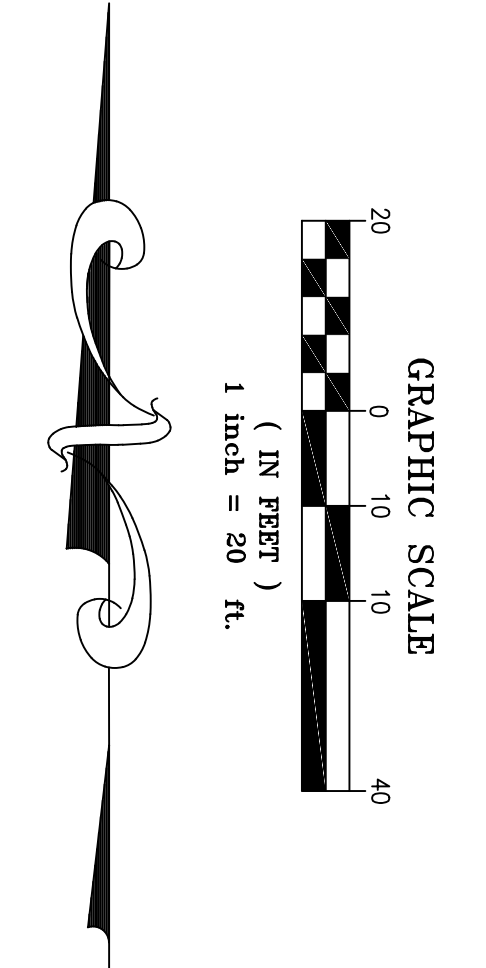
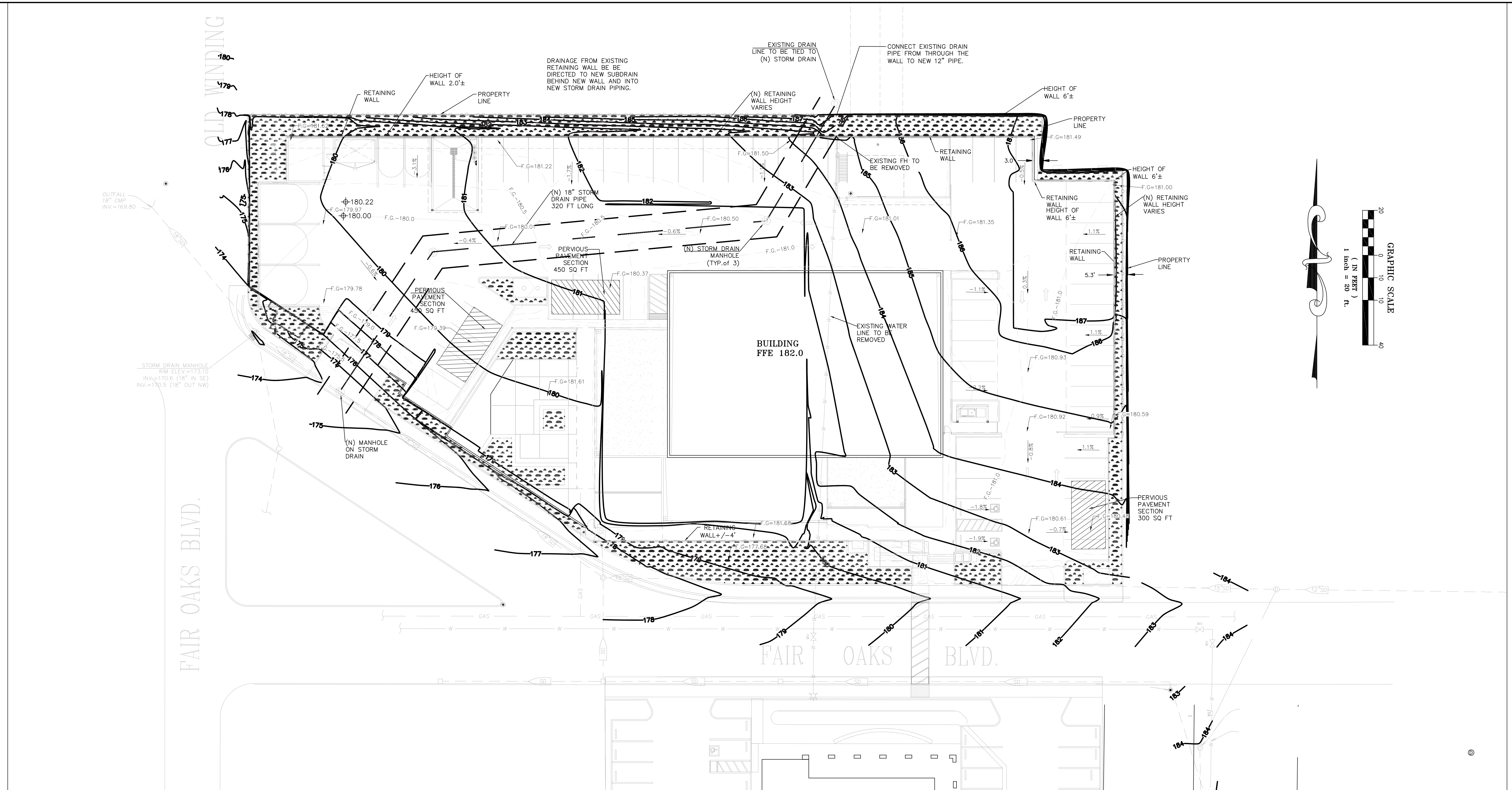
**S<sub>2</sub> - J<sub>2</sub>**  
 ENGINEERING, INC.  
 18700 JANACH CT Phone (530) 347-6788  
 Cottonwood, CA 96022 sdnelson@shasta.com

EXISTING SITE PLAN

FAIR OAKS WATER DISTRICT  
 FAIR OAKS CA

DATE:	9/13/2021
SHEET:	1
1 OF 4	

FAIR OAKS WATER DISTRICT



NO.	REVISIONS	DATE	APPD.	SCALE: 1"= 20'
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△				VERT. 1"=

COMPUTED	SDN
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DRAWN:	SDN
PROJ. ENG.:	SDN

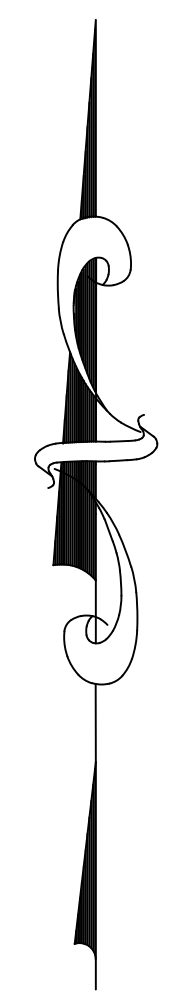
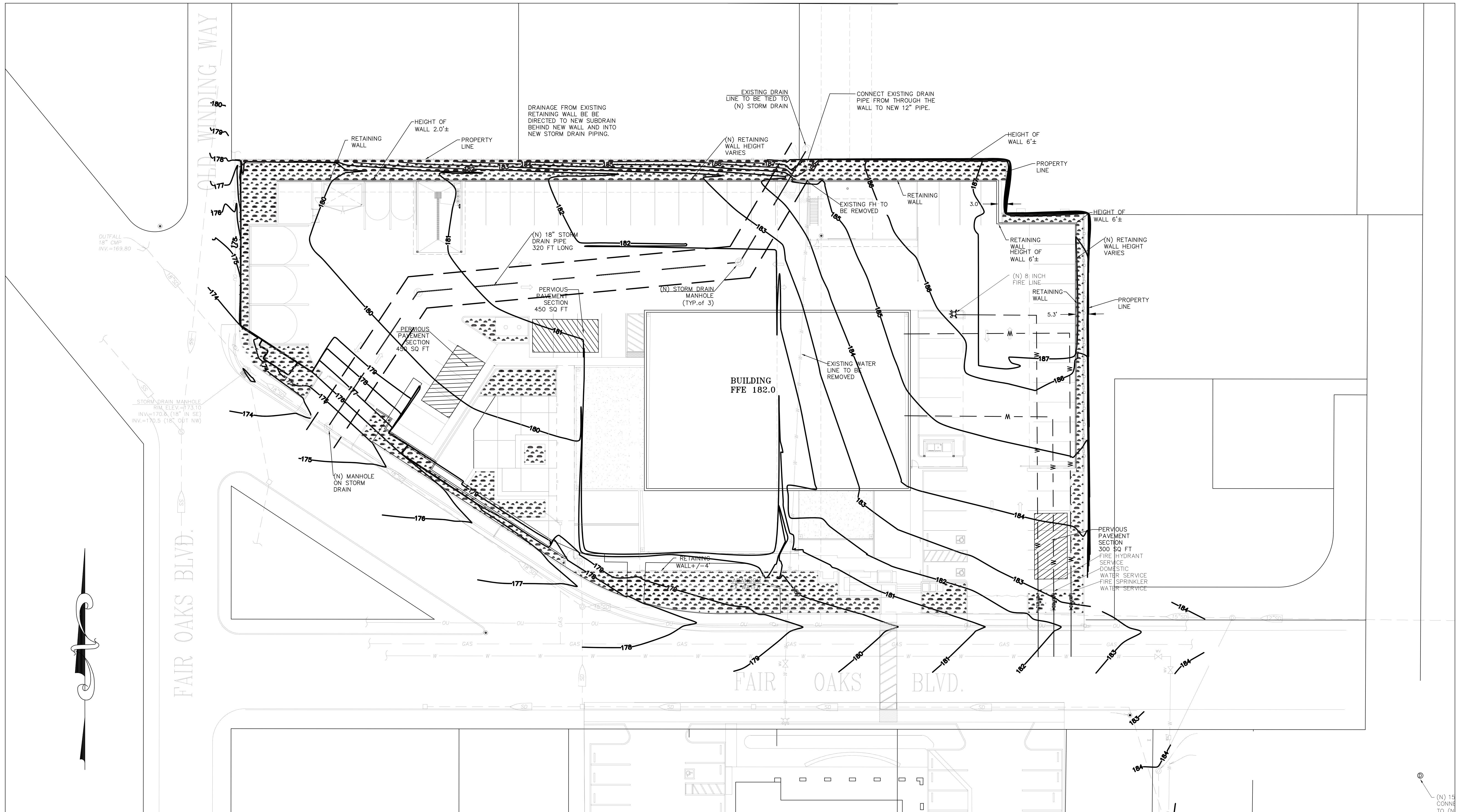
**S<sub>2</sub> - J<sub>2</sub>**  
 ENGINEERING, INC.  
 18700 JANACH CT Phone (530) 347-6788  
 Cottonwood, CA 96022 sdnelson@shasta.com

**PROPOSED  
GRADING PLAN**

FAIR OAKS WATER DISTRICT  
 FAIR OAKS CA

DATE:	9/13/2021
SHEET:	2
	2 OF 4

FAIR OAKS WATER DISTRICT



NO.	REVISIONS	DATE	APPD.

SCALE: 1"= 20'  
 HORIZ. 1"=  
 VERT. 1"=

COMPUTED SDN  
 DESIGNED: SDN  
 DRAWN: SDN  
 PROJ. ENG.: SDN

**S<sub>2</sub> - J<sub>2</sub>**  
 ENGINEERING, INC.  
 18700 JANACH CT Phone (530) 347-6788  
 Cottonwood, CA 96022 sdnelson@shasta.com

**PROPOSED  
 UTILITY PLAN**

FAIR OAKS WATER DISTRICT  
 FAIR OAKS CA

FAIR OAKS WATER DISTRICT

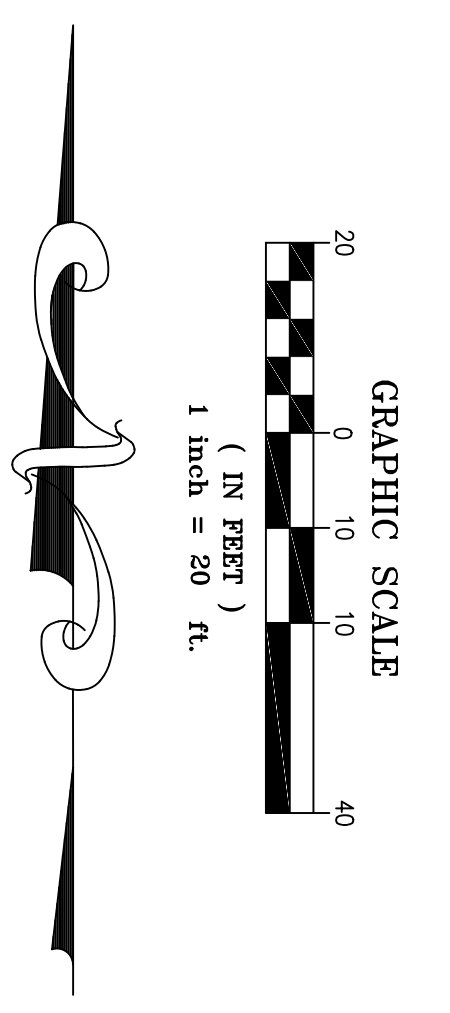
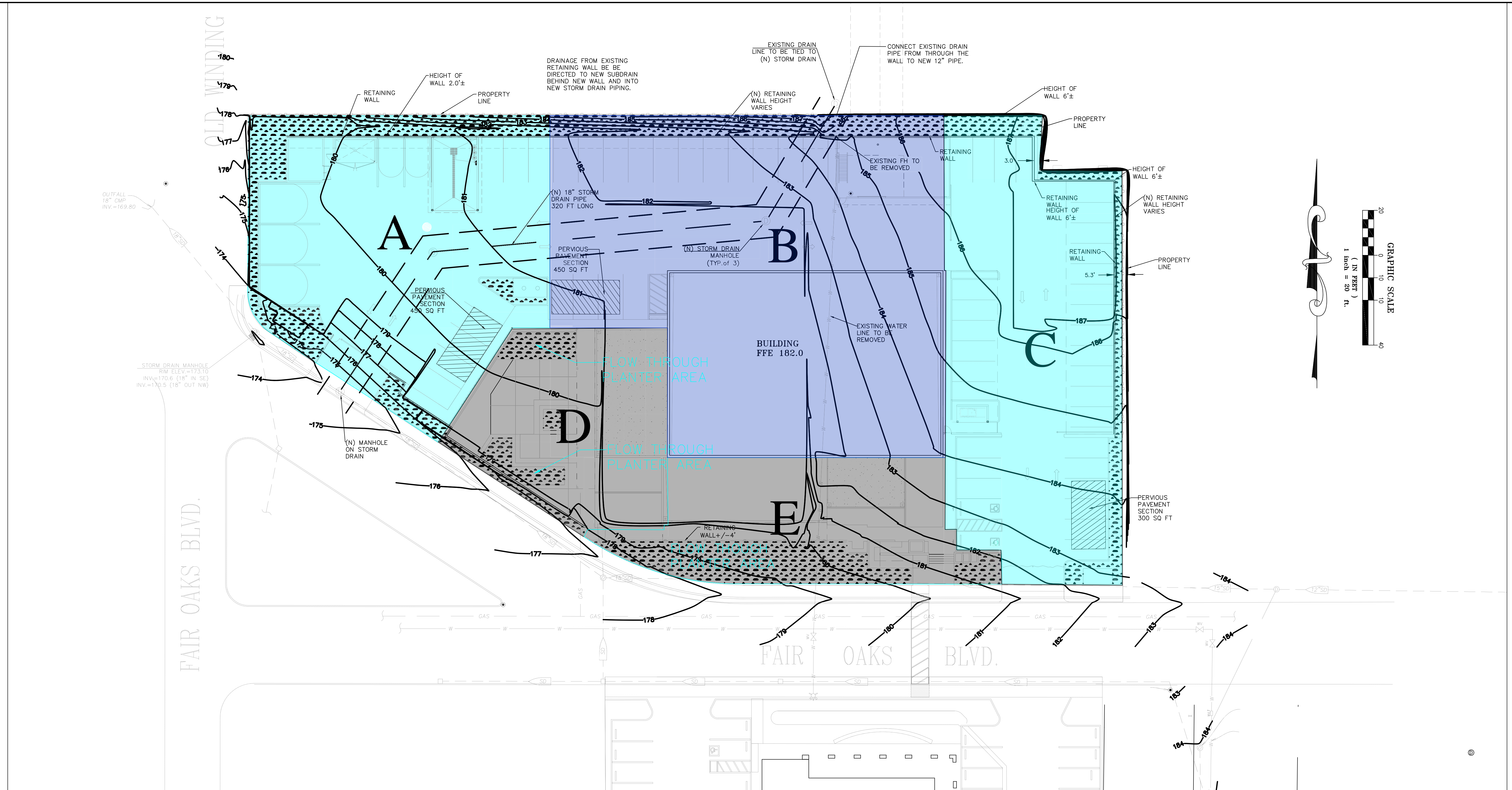


TABLE 1: STORMWATER BMP DESIGN CHARACTERISTICS BY BASIN

BASIN	TOTAL AREA SQ FT	IMPERVIOUS		LD BMP	
		AC	SQ FT	AC	SQ FT
A	13095.1	0.301	2288.2	0.053	450.0
B	20016.0	0.460	1330.3	0.031	450.0
C	12827.3	0.294	3540.0	0.081	300.0
D	6120.2	0.141	823.4	0.019	375.0
E	687.4	0.154	1595.9	0.037	600.0

\*SOIL POROSITY ASSUMED TO BE 0.15  
\*\*GRAVEL POROSITY ASSUMED TO BE 0.35

NOTE: 1

BIORETENTION SOIL SHALL HAVE A MINIMUM INFILTRATION RATE OF 5 IN/HR, BE 60-70% SAND (MEETING SPECIFICATIONS OF ASTM C33) AND 30%-40% COMPOST, AND BE SUITABLE FOR PLANTING MATERIAL SPECIFIED IN LANDSCAPE PLANS. SEE LANDSCAPE PLANS FOR MIX DESIGN.

NO.	REVISIONS	DATE	APPD.

SCALE:	1" = 20'
HORIZ.	1" =
VERT.	1" =

COMPUTED:	SDN
DESIGNED:	SDN
DRAWN:	SDN
PROJ. ENG.:	SDN

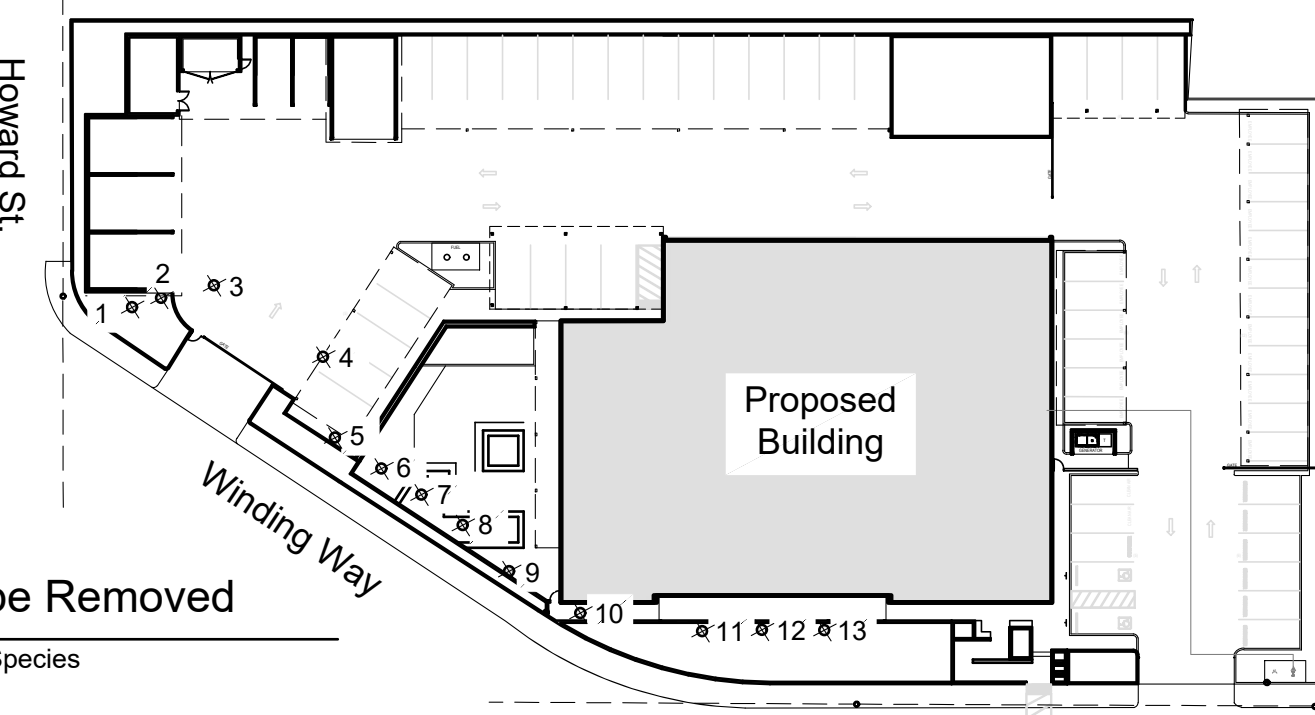
**S<sub>2</sub> - J<sub>2</sub>**  
 ENGINEERING, INC.  
 18700 JANACH CT Phone (530) 347-6788  
 Cottonwood, CA 96022 sdnelson@shasta.com

## STORMWATER PLAN

FAIR OAKS WATER DISTRICT  
 FAIR OAKS CA

DATE:	9/13/2021
SHEET:	4
4 OF 4	

FAIR OAKS WATER DISTRICT

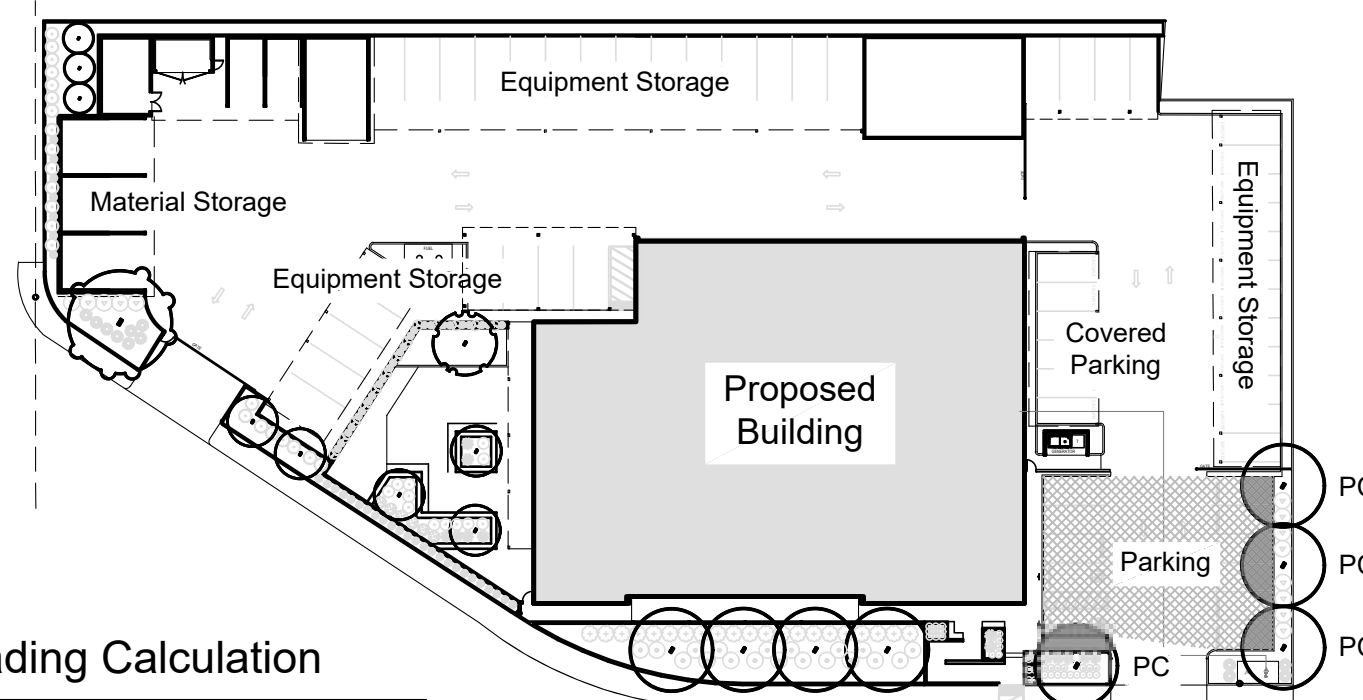


Trees to be Removed

Tree No.	Size (DBH)	Species
1	5"	Pyrus sp. (Ornamental Pear)
2	9"	Pyrus sp. (Ornamental Pear)
3	9"	Pyrus sp. (Ornamental Pear)
4	9"	Pyrus sp. (Ornamental Pear)
5	9"	Pyrus sp. (Ornamental Pear)
6	9"	Pyrus sp. (Ornamental Pear)
7	9"	Pyrus sp. (Ornamental Pear)
8	8"	Pyrus sp. (Ornamental Pear)
9	7"	Pyrus sp. (Ornamental Pear)
10	18"	Pyrus sp. (Ornamental Pear)
11	10"	Pyrus sp. (Ornamental Pear)
12	12"	Pyrus sp. (Ornamental Pear)
13		Sequoia sp. (Coast Redwood)

Tree Removal

1" = 60'



Parking Lot Shading Calculation

Tree Type	Tree Key	Half (50%)	Quarter (25%)
Pistacia chinensis	PC	2 x 481 SF = 962 SF	2 x 240 SF = 480 SF

Total shade shown: 1,442 SF  
 Required shade: 3,687 SF @ 30% = 1,106 SF

Parking Shading

1" = 60'



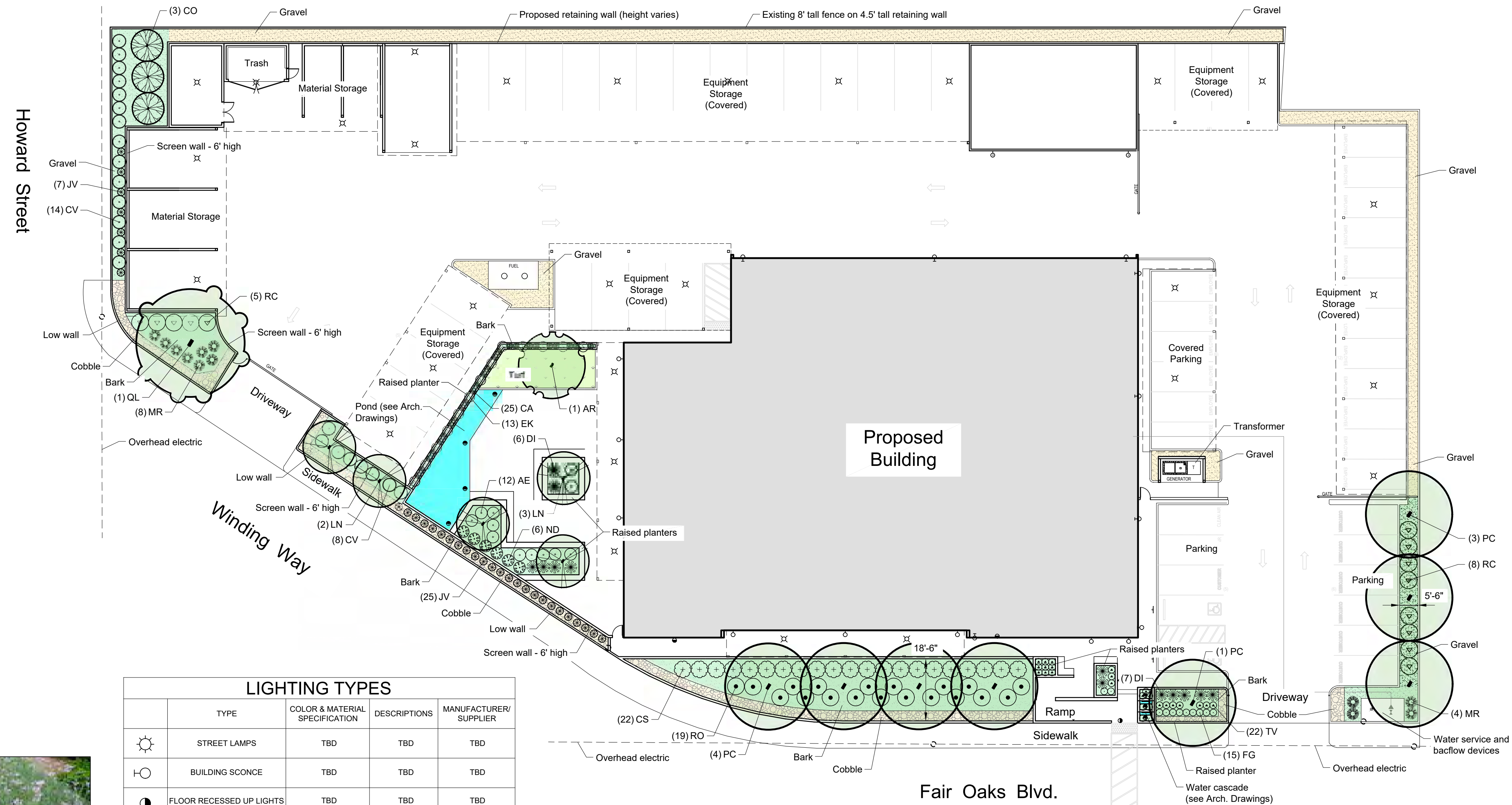
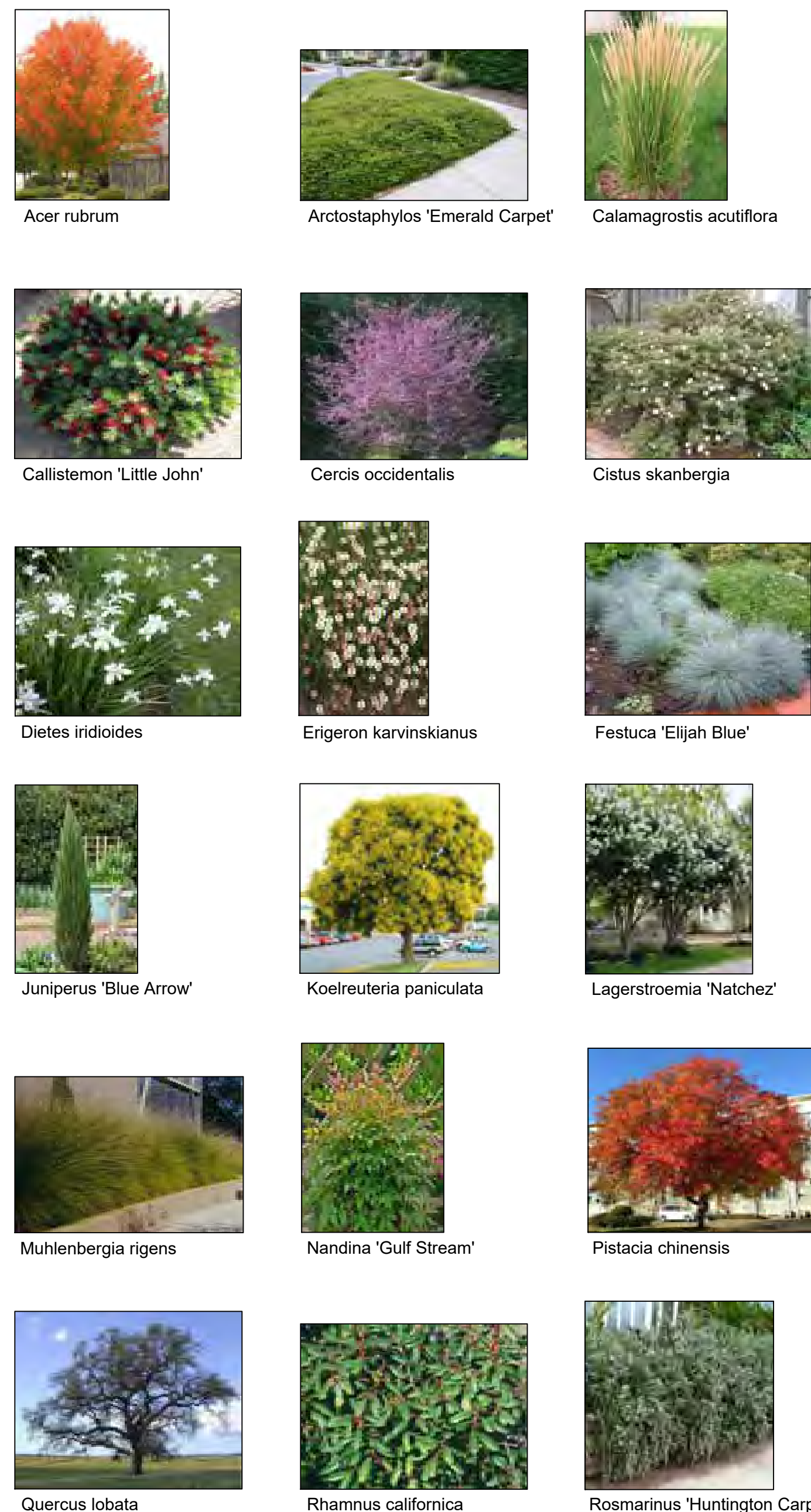
PLANT SCHEDULE

CODE	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS	REMARKS
AR	1	15 gal	Acer rubrum 'October Glory'	Red Maple	medium	double stake
AE	12	1 gal	Arctostaphylos 'Emerald Carpet'	Manzanita	low	
CA	25	1 gal	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	medium	
CV	22	5 gal	Callistemon viminalis 'Little John'	Dwarf Weeping Bottlebrush	low	
CO	3	5 gal	Cercis occidentalis	Western Redbud	low	
CS	21	5 gal	Cistus skanbergii	Rockrose	low	
DI	13	5 gal	Diets iridioides	Fortnight Lily	low	
EK	13	1 gal	Erigeron karvinskianus	Desert Yellow Fleabane	medium	
FG	15	1 gal	Festuca glauca 'Elijah Blue'	Blue Fescue	medium	
JV	32	5 gal	Juniperus virginiana 'Blue Arrow'	Blue Arrow Juniper	low	
LN	5	15 gal	Lagerstroemia x 'Natchez'	Crape Myrtle	low	standard, double stake
MR	12	5 gal	Muhlenbergia rigens	Deer Grass	low	
ND	6	5 gal	Nandina domestica 'Gulf Stream'	Heavenly Bamboo	low	
PC	8	15 gal	Pistacia chinensis	Chinese Pistache	low	double stake
QL	1	15 gal	Quercus lobata	Valley Oak	low	double stake
RC	13	5 gal	Rhamnus californica 'Eve Case'	California Coffeeberry	low	
RO	19	1 gal	Rosmarinus officinalis 'Huntington Carpet'	Rosemary	low	
TV	22	1 gal	Tulbaghia violacea	Society Garlic	medium	

QTY	TOP DRESSING
2,770 sf	Bark (Fir Walk on Bark) - 3" deep over pre-emergent
980 sf	Cobble (4"-6" clean, rough cobble) - 6" deep over filter fabric (4 oz/yd)
3,110 sf	Gravel (3/4" clean crushed stone) - 3" deep over filter fabric (4 oz/yd)
350 sf	sod
	Turf (90/10 mix of Turf Type Tall Fescue and Kentucky Bluegrass)

Total landscaping: 7,210 SF  
 Total irrigated landscaping: 4,700 SF  
 Planting and irrigation will conform to MWEL requirements.  
 Plants will be irrigated with a sub-surface drip system.  
 The irrigation controller will be weather based and include flow monitoring.

Design intent: Create a pleasant streetside planting utilizing low water use, low maintenance plants.



LIGHTING TYPES			
TYPE	COLOR & MATERIAL SPECIFICATION	DESCRIPTIONS	MANUFACTURER/SUPPLIER
[Symbol]	TBD	TBD	TBD
[Symbol]	TBD	TBD	TBD
[Symbol]	TBD	TBD	TBD
[Symbol]	TBD	TBD	TBD
[Symbol]	TBD	TBD	TBD

Conceptual Landscape Plan

1" = 20'



Michael Lander ASLA  
 Landscape Architecture  
 RLA 2399  
 20270 Lupine Drive Redding, California 96002  
 (530) 223-2488 mlander@shasta.com



G U T I E R R E Z / A S S O C I A T E S  
 a r c h i t e c t s  
 315 14th Street, Second Floor  
 Oakland, CA 94612  
 Oakland, California 94612  
 510 839-3311

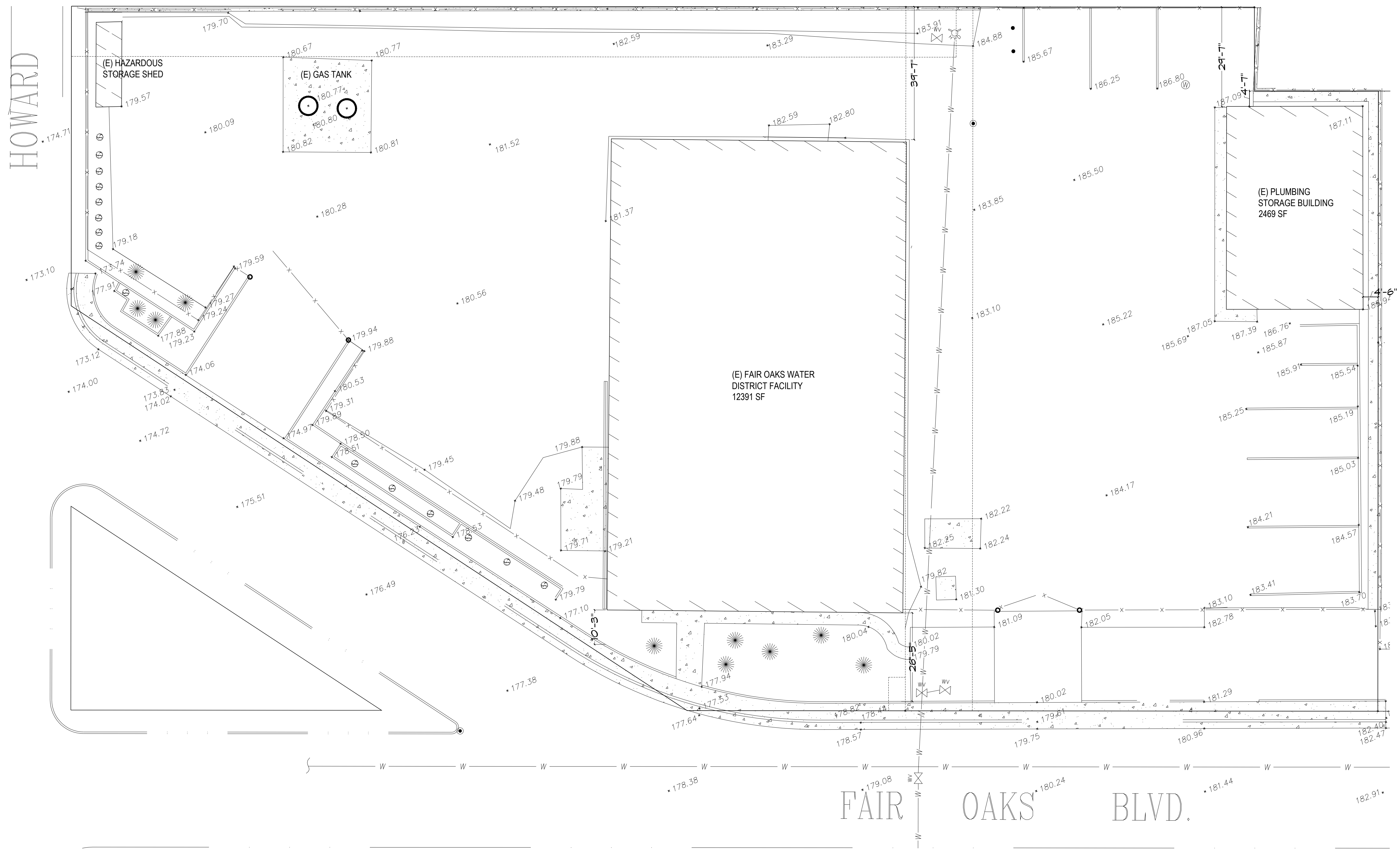
Revisions:

Fair Oaks Water District Corporation Yard/ Crew Quarters

10317 Fair Oaks Blvd  
 Fair Oaks, CA  
 APN: 244-0174-036

SHEET REFERENCE:  
**Conceptual Landscape Plan**  
 DATE: 23 June 2020

L1



1 (E) SITE PLAN

SCALE: 1/16" = 1'-0"

GUTIERREZ ASSOCIATES  
architects  
5701 International Blvd, Suite 7  
Oakland, California 94621  
510.839.3311



**FAIR OAKS OPERATIONS FACILITY**  
10317 FAIR OAKS BLVD  
FAIR OAKS, CA

(E) SITE PLAN  
SHEET REFERENCE:  
DATE: 26 JUNE 2020  
PLANNING REV 2: 26 FEB 2021  
PLANNING REV 3: 15 SEPT 2021

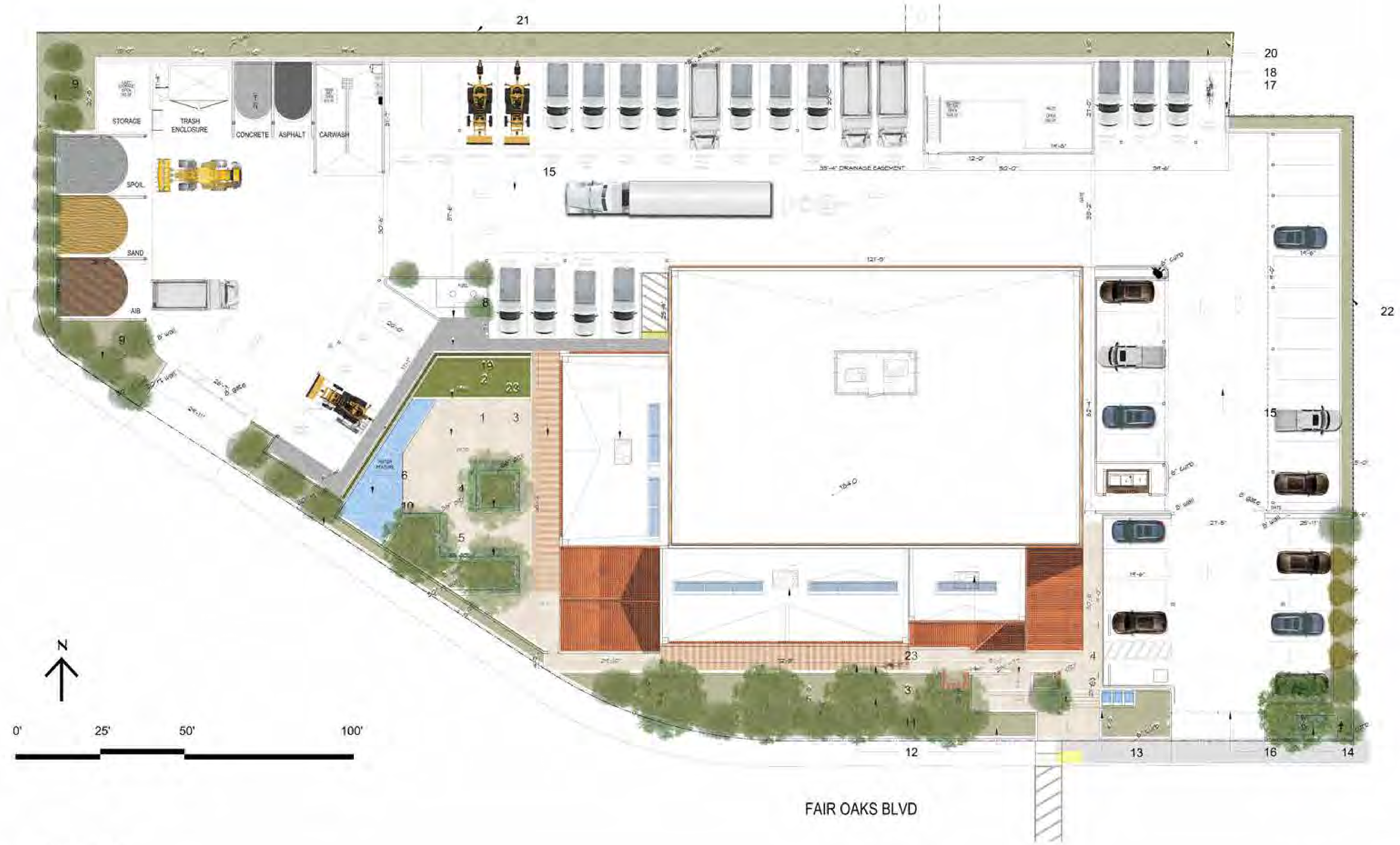
A0

**KEY NOTES**

- 1 INTEGRAL COLORED CONCRETE W/SCORING
- 2 GRASS W/FLUSH CURB
- 3 TRELLIS
- 4 36" INTEGRAL COLOR CONCRETE PLANTER W/ GROUND COVER AND TREES
- 5 36" INTEGRAL COLOR CONCRETE PLANTER W/ GROUND COVER AND TREES
- 6 24" DEEP POOL W/REEDS AND OTHER WATER PLANTS
- 7 CONCRETE SIDEWALK
- 8 ISLAND WITH 6" CURB AND SHRUBS/BUSHES SURROUNDING FUEL STATION
- 9 ISLAND WITH 6" CURB, W/ TREES, SHRUBS AND BUSHES
- 10 PLANTER IN BTW RETAINING WALLS, HIGH NOTED ON DRAWING AS 6" AND LOW AS 30". PLANTS TO BE A COMBINATION OF SHRUBS, TREES AND GROUND COVER ALL DROUGHT RESISTANT AND NATIVE.
- 11 BERMED FRONT PLANTER W/ A COMBINATION OF TREES, SHRUBS, SURROUNDING CURB IS 6".
- 12 INTEGRAL COLORED WALKWAY
- 13 BERMED FRONT PLANTER W/ A COMBINATION OF TREES AND SHRUBS, SURROUNDING CURB IS 6".
- 14 FRONT PLANTER W/ A COMBINATION OF TREES AND SHRUBS, SURROUNDING CURB IS 6". PAD PLACED HERE FOR FIRE BACKFLOW VALVES.
- 15 CONCRETE PAVING
- 16 GATE AND PVC COATED SMALL CHAIN LINK PERIMETER FENCE
- 17 (E) CONCRETE RETAINING WALL TO REMAIN @8'-0". SEE CIVIL FOR MORE INFORMATION.
- 18 (N) RETAINING WALL AT 3.5'
- 19 RAISED PLANTER IN WALL
- 20 GRAVEL SWALE W/8" UNDER GROUND DRAINAGE PIPE
- 21 (E) 4.5' CONCRETE RETAINING WALL TO REMAIN W/ (E) 6'-0" WOOD FENCE ON TOP.
- 22 (N) WOOD FENCE @ 6'-0" ON EAST PROPERTY LINE.
- 23 PROPOSED LOCATIONS OF HVAC EQUIPMENT ON ROOF

**LIGHTING TYPES**

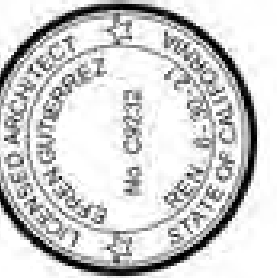
TYPE	COLOR & MATERIAL SPECIFICATION	DESCRIPTIONS	MANUFACTURER	SUPPLIER
STREET LAMPS	T80	T80	T80	T80
BUILDING SCONCE	T80	T80	T80	T80
FLOOR RECESSED LP LIGHTS	T80	T80	T80	T80
UNDERMOUNT CANOPY LIGHTS	T80	T80	T80	T80
LOW RECESSED WALL LIGHT	T80	T80	T80	T80



1 SITE PLAN

SCALE: 1/16" = 1'-0"

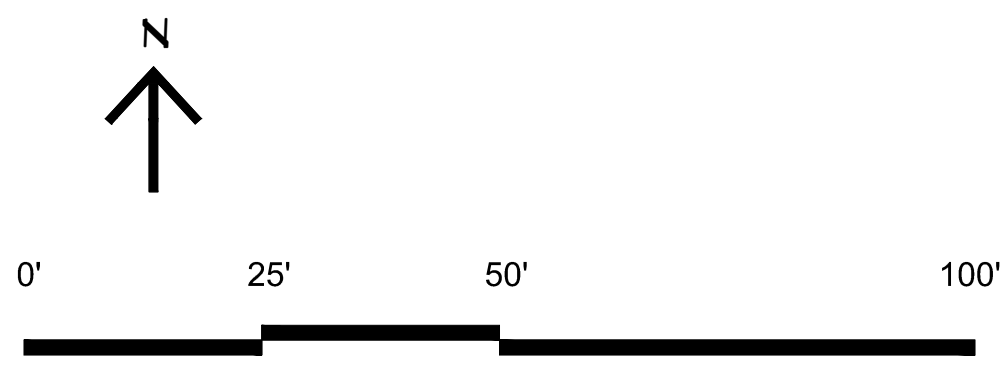
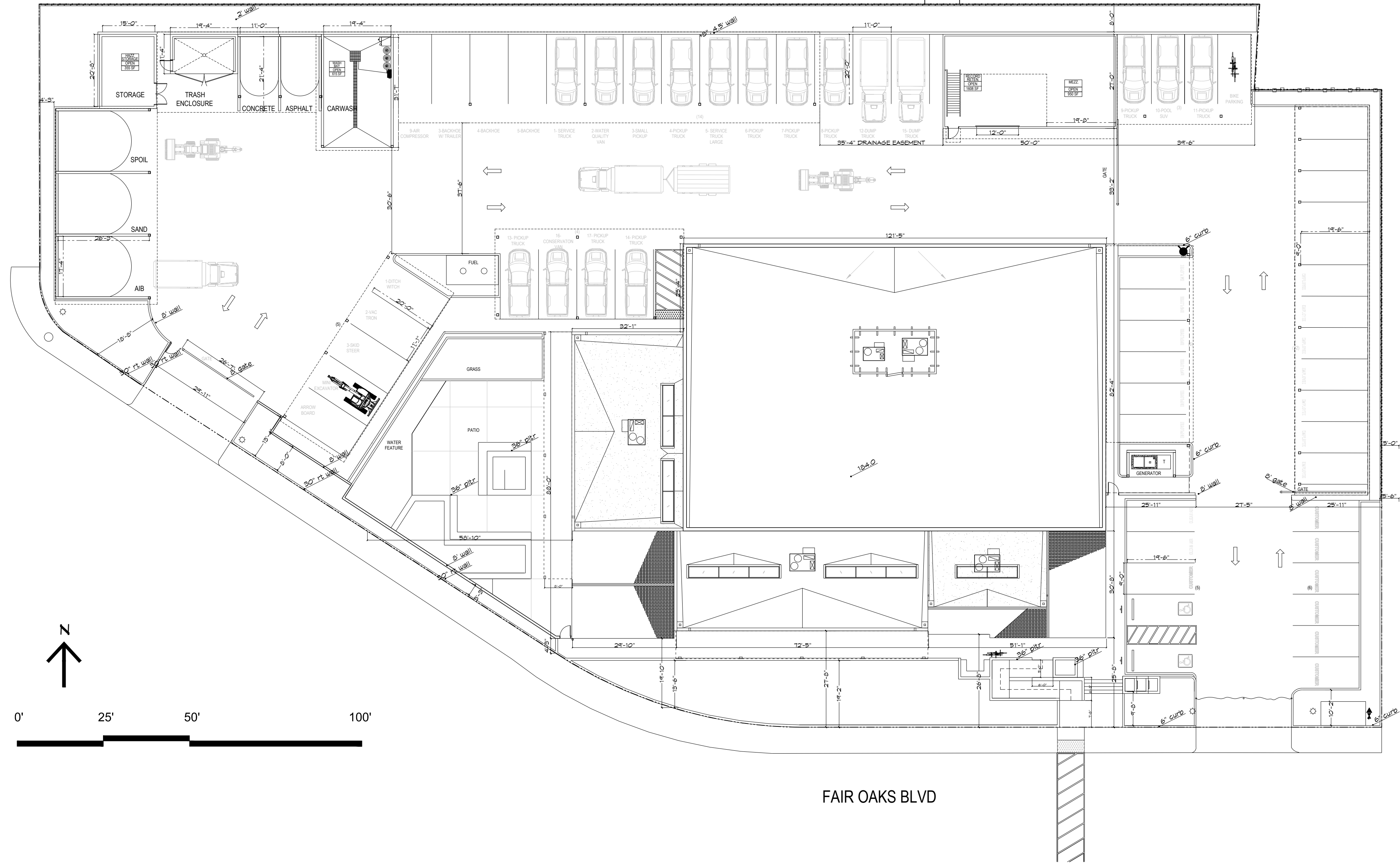
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architects  
5701 International Blvd, Suite 7  
Oakland, California 94621  
510.839.3311



FAIR OAKS OPERATIONS FACILITY  
10317 FAIR OAKS BLVD  
FAIR OAKS, CA

SITE PLAN  
SHEET REFERENCE:  
DATE: 26 JUNE 2020  
PLANNING REV 2: 26 FEB 2021  
PLANNING REV 3: 15 SEPT 2021

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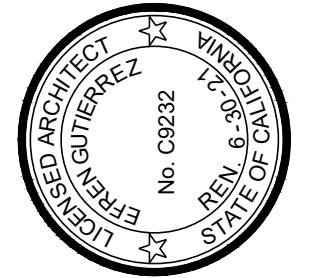
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1 CONTEXT DRAWING

SCALE: 1:20

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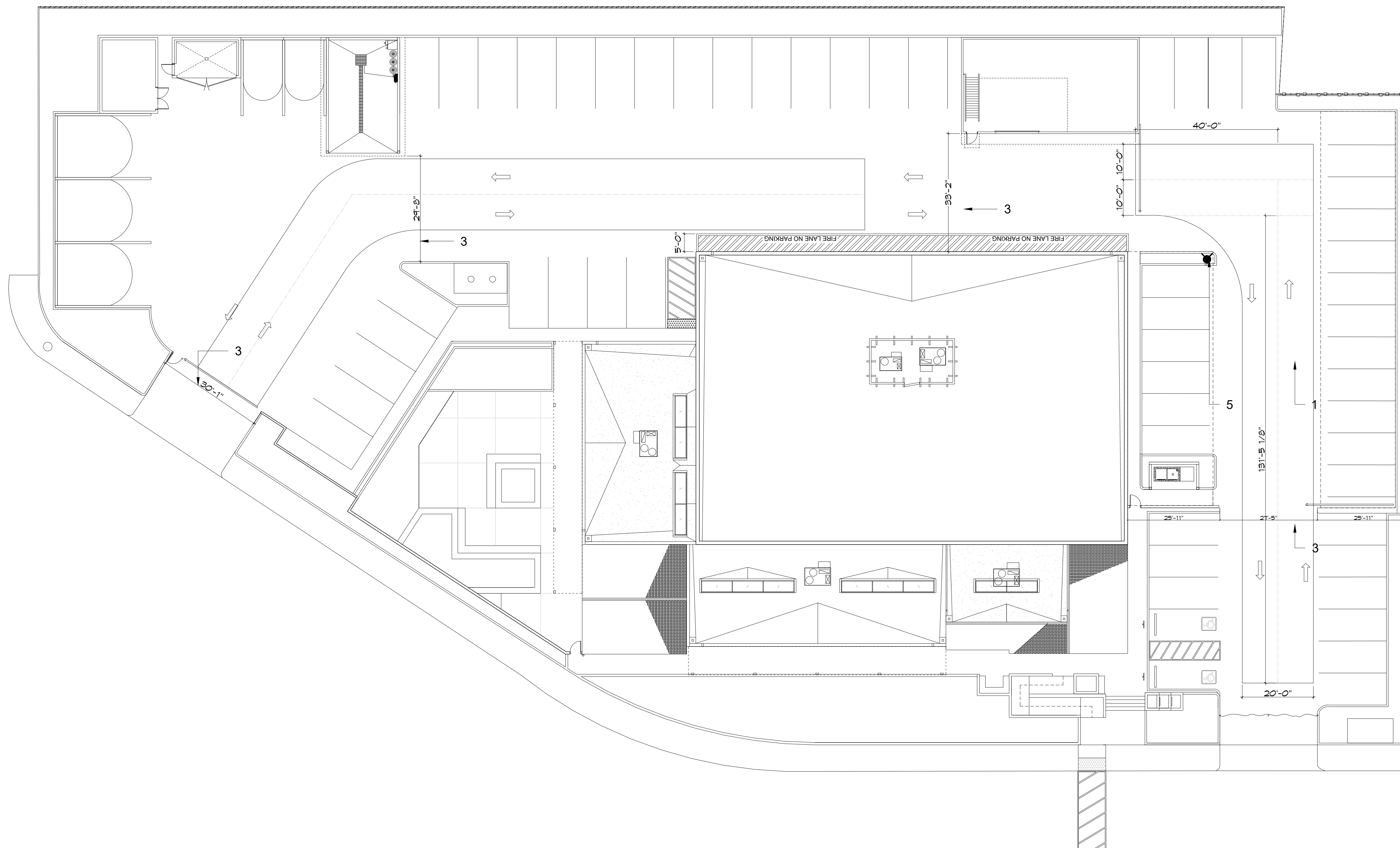
CONTEXT DRAWING  
SHEET REFERENCE:  
DATE: 26 JUNE 2020  
PLANNING REV 2: 26 FEB 2021  
PLANNING REV 3: 15 SEPT 2021

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**KEY NOTES**

- ① FIRE ACCESS ROADWAY AT EAST ELEVATION
- ② FIRE ACCESS ROADWAY AT WEST ELEVATION
- ③ AERIAL APPARATUS ACCESS
- ④ FIRE ACCESS ROADWAYS SHALL BE BUILT TO BEAR A MINIMUM OF 80,000 POUNDS, WITH A MAXIMUM AXLE LOAD OF 31,000 POUNDS, AND MEET PUBLIC WORKS STANDARDS FOR ROADWAYS. A REPORT PREPARED BY A REGISTERED GEOTECHNICAL ENGINEER, VERIFYING THE ABILITY OF THE ROAD TO BEAR THE REQUIRED MINIMUM WEIGHT, SHALL BE SUBMITTED WITH ANY PLAN INDICATING CONSTRUCTION OF ROADWAY. VERIFICATION OF CONSTRUCTED ROADWAY SHALL BE PROVIDED BY A REGISTERED GEOTECHNICAL ENGINEER PRIOR TO FINAL OF THE PROJECT.
- ⑤ N FIRE HYDRANT. SEE CIVIL PROPOSED SITE PLAN FOR MORE INFORMATION.



① FIRE APPARATUS TURNAROUND

SCALE: 1/16" = 1'-0"

FIRE APPARATUS TURNAROUND  
 SHEET REFERENCE:  
 DATE: 26 JUNE 2020  
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**FAIR OAKS OPERATIONS FACILITY**

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 FAIR OAKS, CA



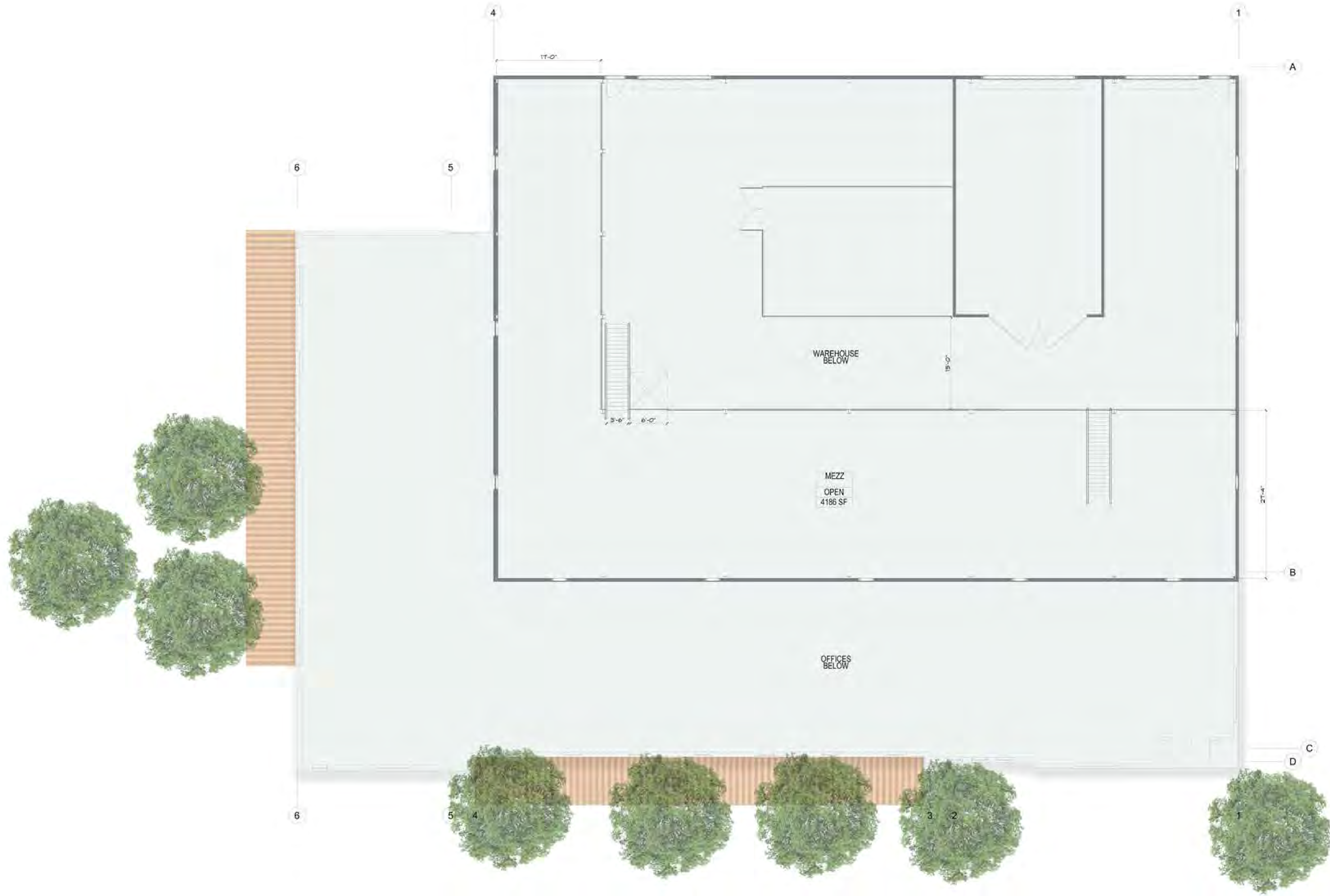
GUTIERREZ / ASSOCIATES  
 architects

5701 International Blvd, Suite 7  
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 510.839.3311



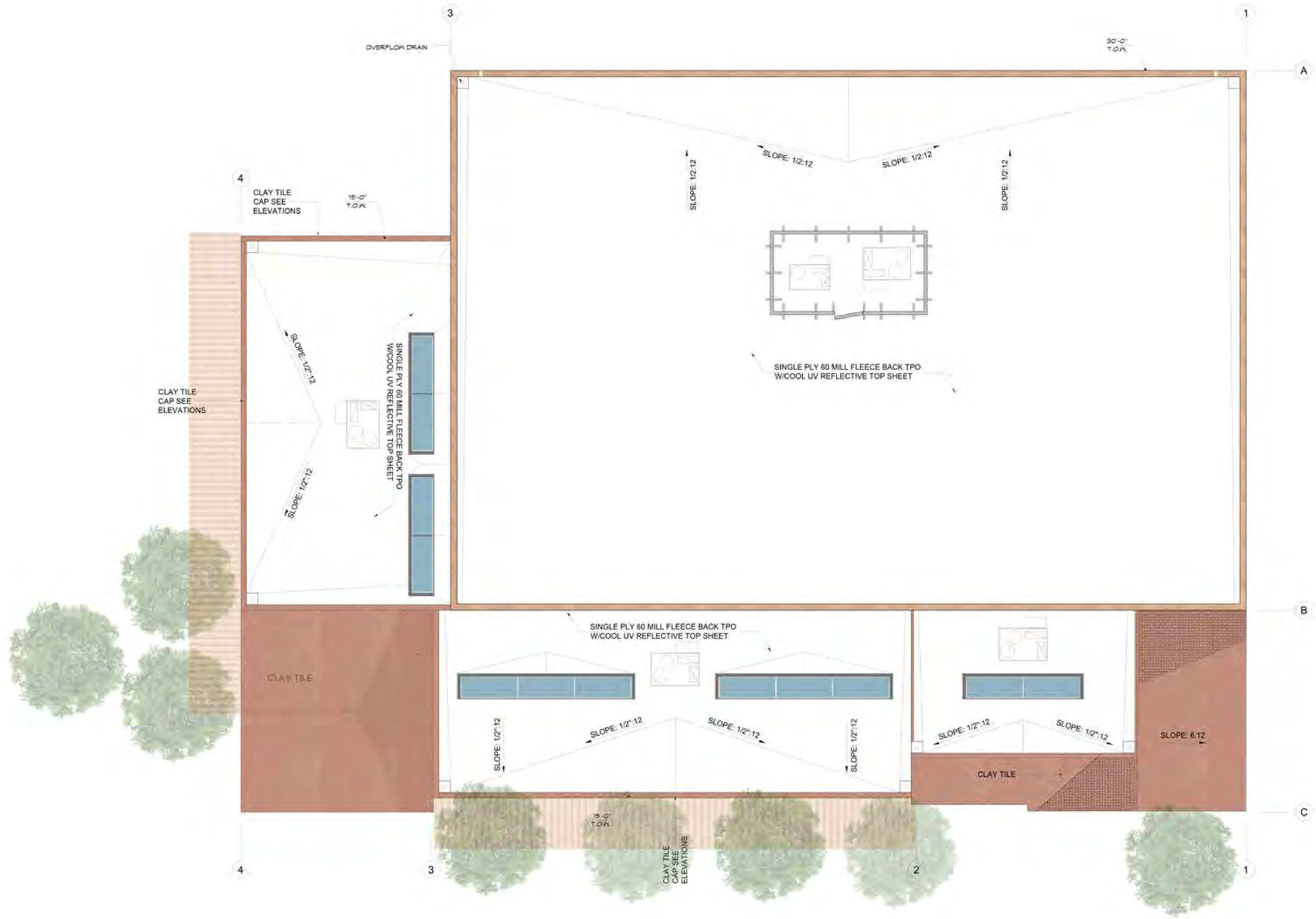
1 FLOOR PLAN

SCALE: 1/8" = 1'-0"



1 MEZZANINE PLAN

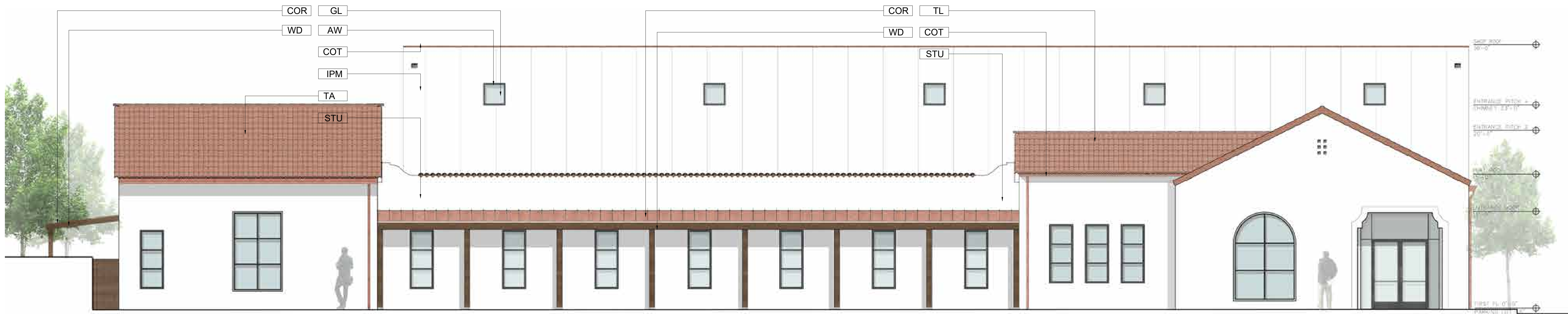
SCALE: 1/8" = 1'-0"



1 ROOF PLAN

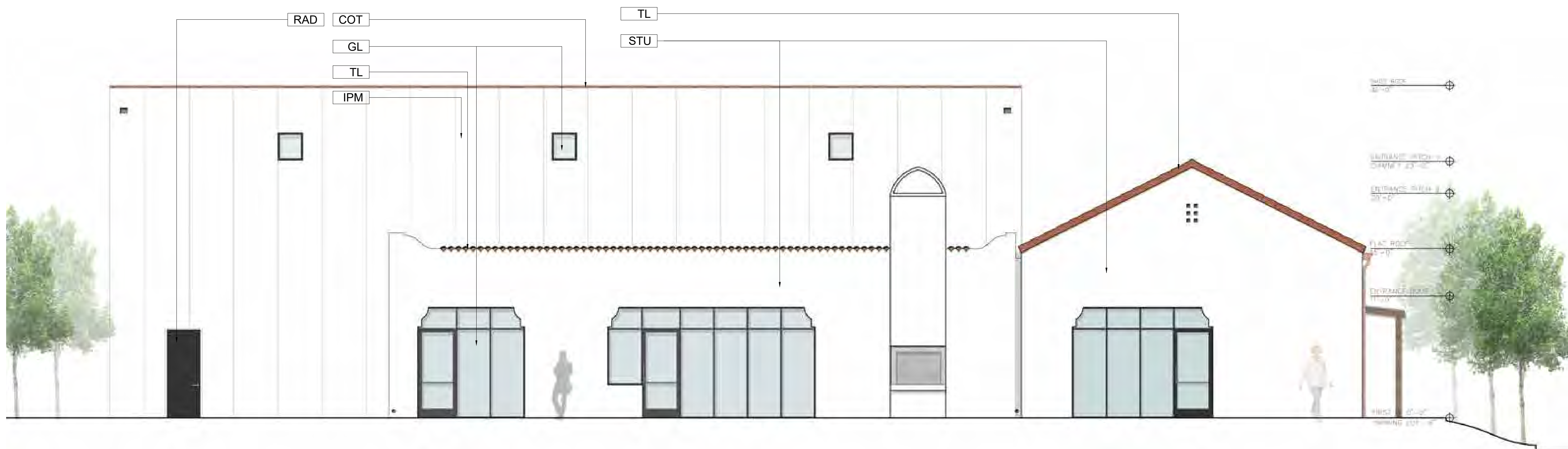
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1 SOUTH ELEVATION

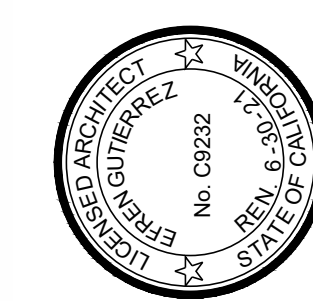
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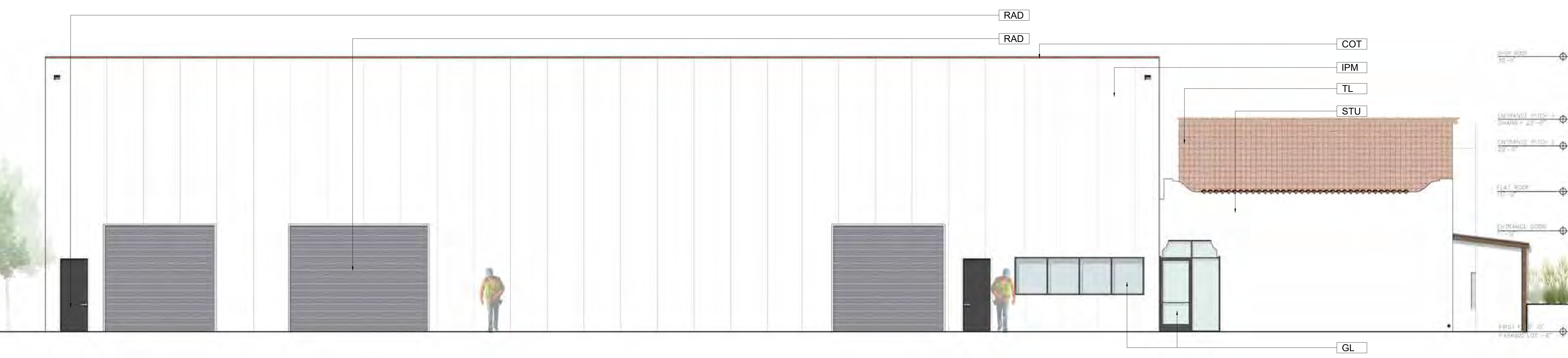
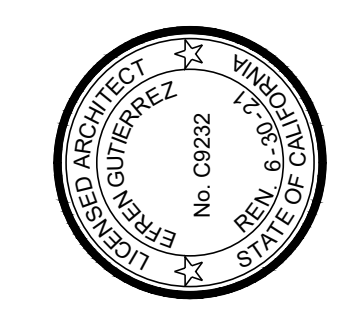


2 WEST ELEVATION

SCALE: 3/16" = 1'-0"

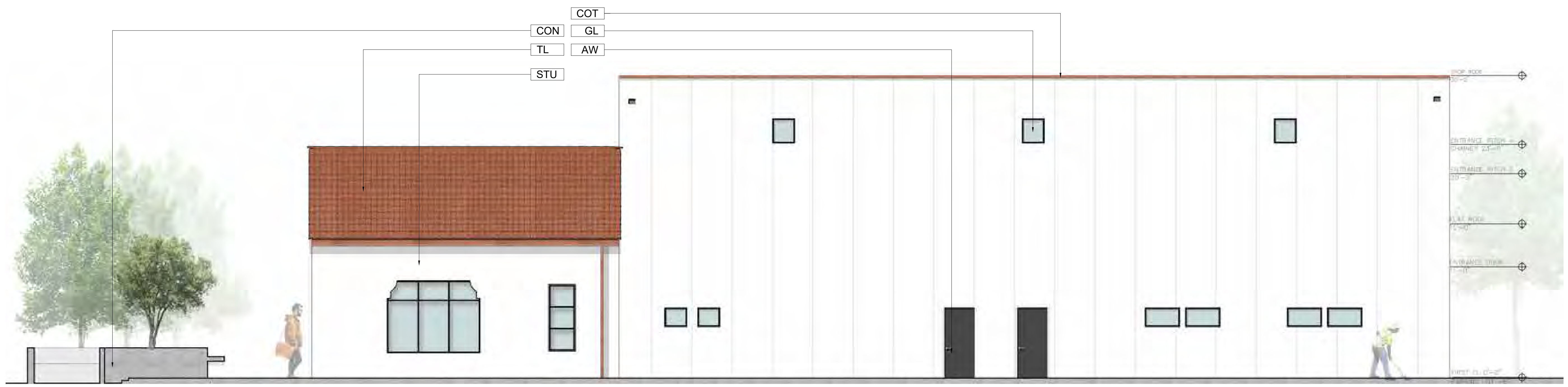
MATERIALS			
SIGNIFIER	NAME	COLOR & MATERIAL SPECIFICATION	MANUFACTURER/SUPPLIER
CO	COPPER DOWNSPOUTS	COPPER	TBD
COR	COPPER/COPPER PAINT STANDING SEAM ROOF	COPPER	TBD
COT	COPPER TRIM	COPPER	LOCAL SUPPLIER
IMP	INSULATED METAL PANEL	GLACIER WHITE	KINGSPAN
WD	HARDWOOD	CHARCOAL STAIN	LOCAL SUPPLIER
AW	ALUMINUM/STEEL WINDOWS	CHARCOAL	KAWNEER/JADA
GL	LOW-E GLASS	SOLAR BAN 70 CLR	PPG
TL	TERRECOTTA CLAY TILE	TERRACOTTA	BORAL
AD	ALUMINUM/STEEL DOORS	CHARCOAL	KAWNEER/JADA
RAD	OVERHEAD COIL DOOR	CHARCOAL	RYTEC
STU	STUCCO	GLACIER WHITE-SANTA BARBARA FINISH	LAHABRA
GM	GALVANIZED METAL	STANDARD	TBD
CB	CONCRETE BLOCK	STANDARD	TBD
PMB	POWDER COATED METAL	BLACK	TBD
CON	CONCRETE	SMOOTH FINISH	LOCAL





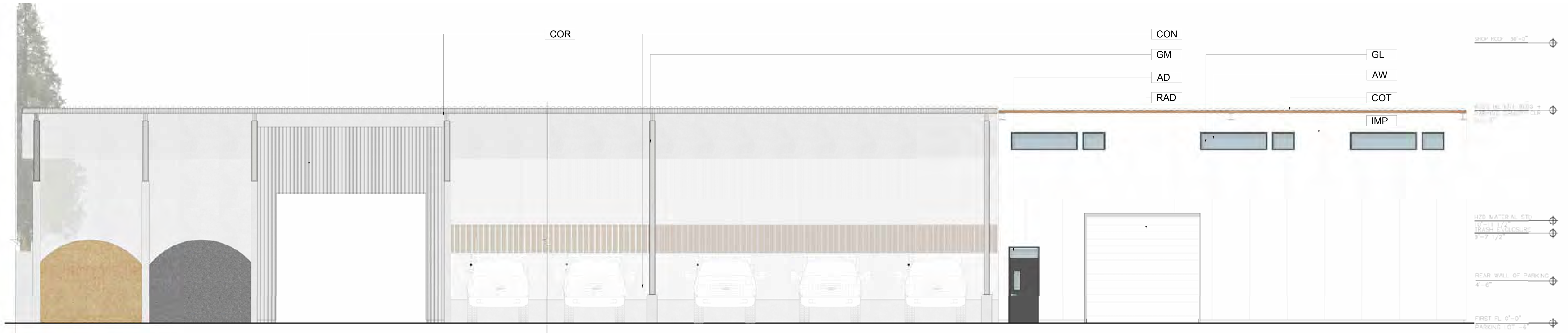
1 NORTH ELEVATION

SCALE: 3/16" = 1'-0"



2 EAST ELEVATION

SCALE: 3/16" = 1'-0"

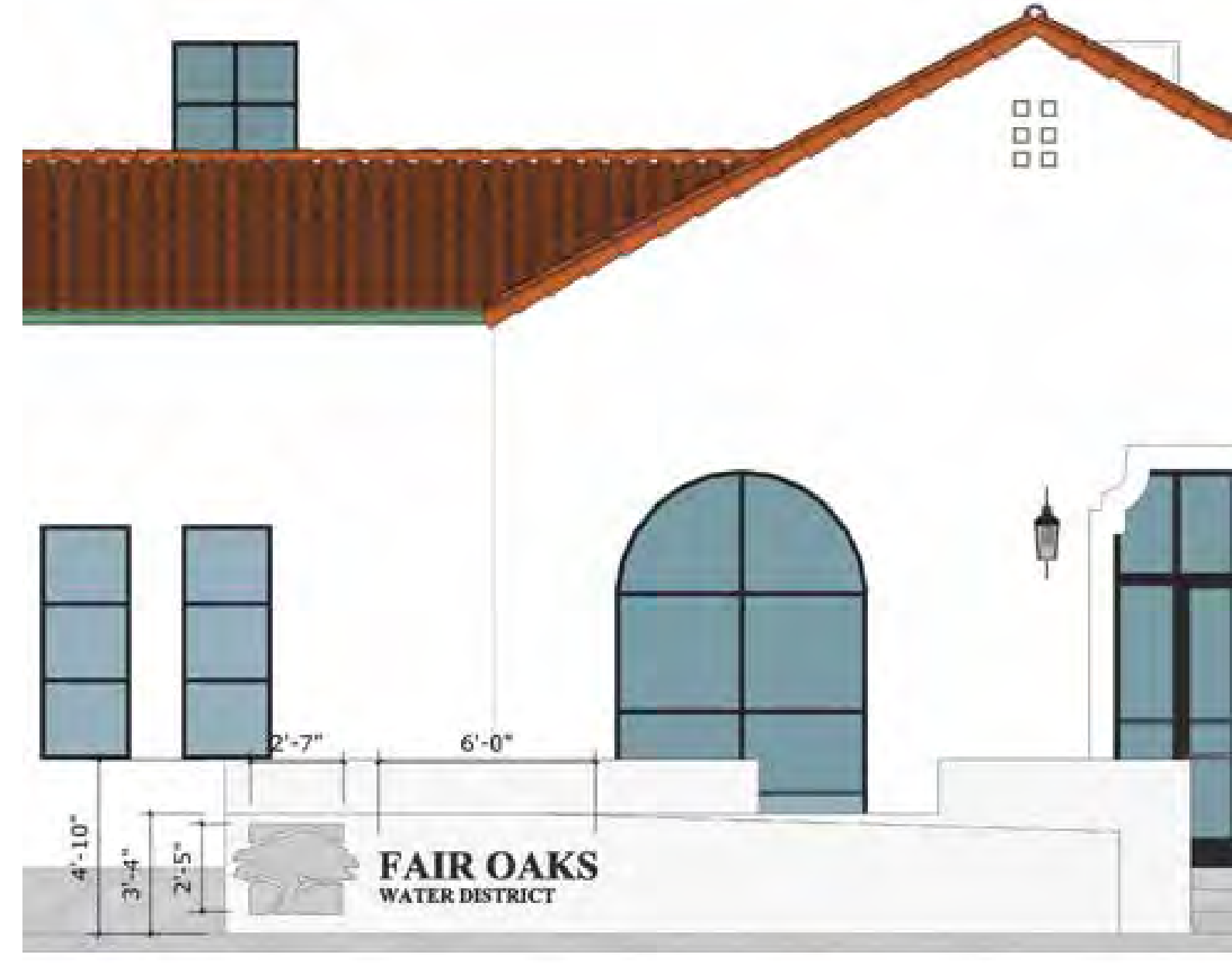


1 NORTH ELEVATION @ RECORDS RETENTION AND COVERED PARKING



2 NORTH ELEV CONTINUED @ HAZARDOUS STO AND TRASH ENCLO

SCALE: 3/16" = 1'-0"

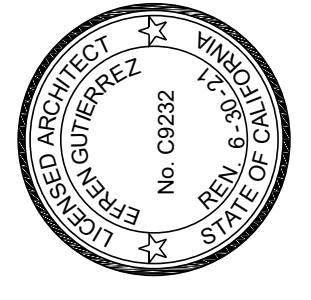


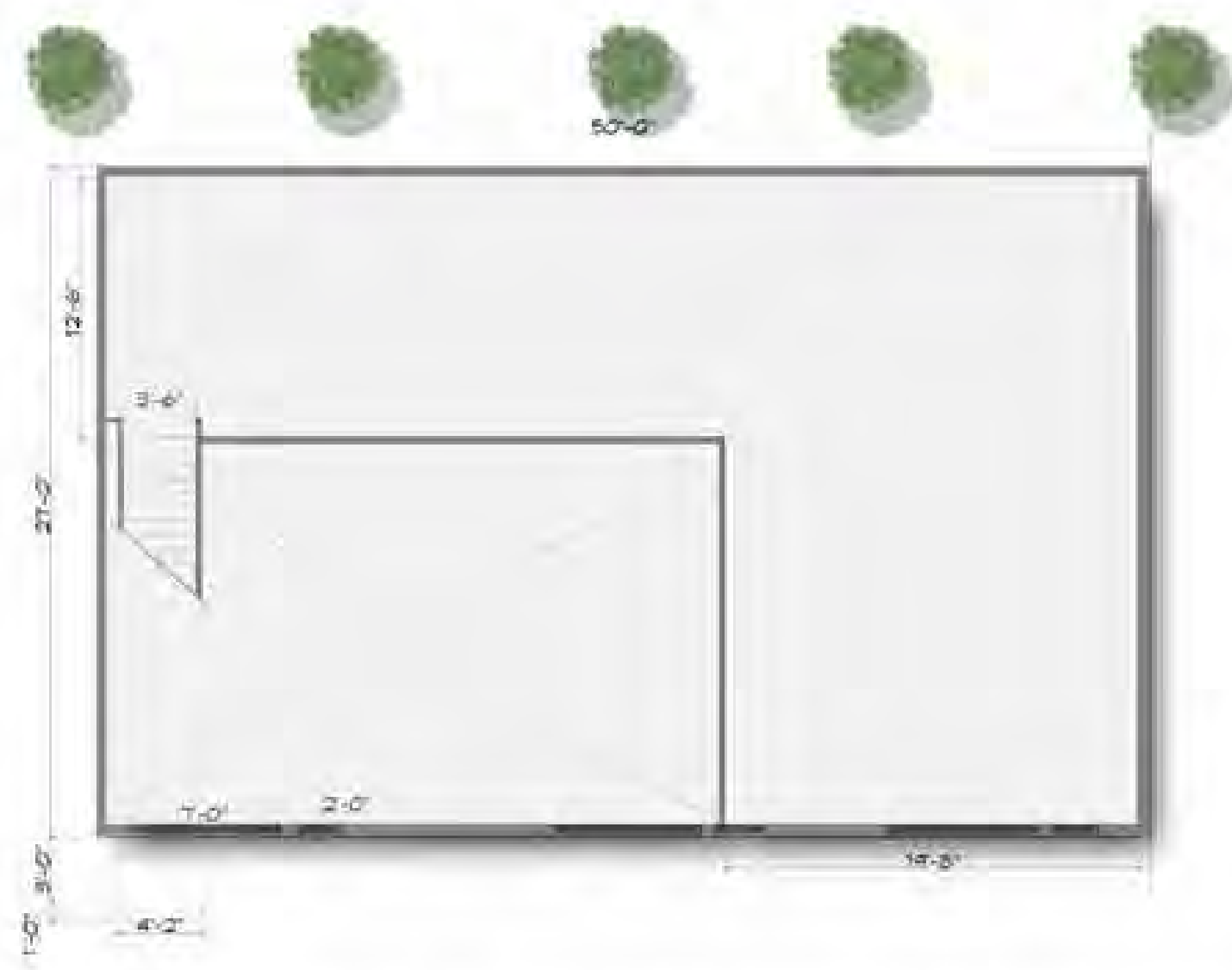
3 PROPOSED SIGN DIMENSIONS

SCALE: NTS

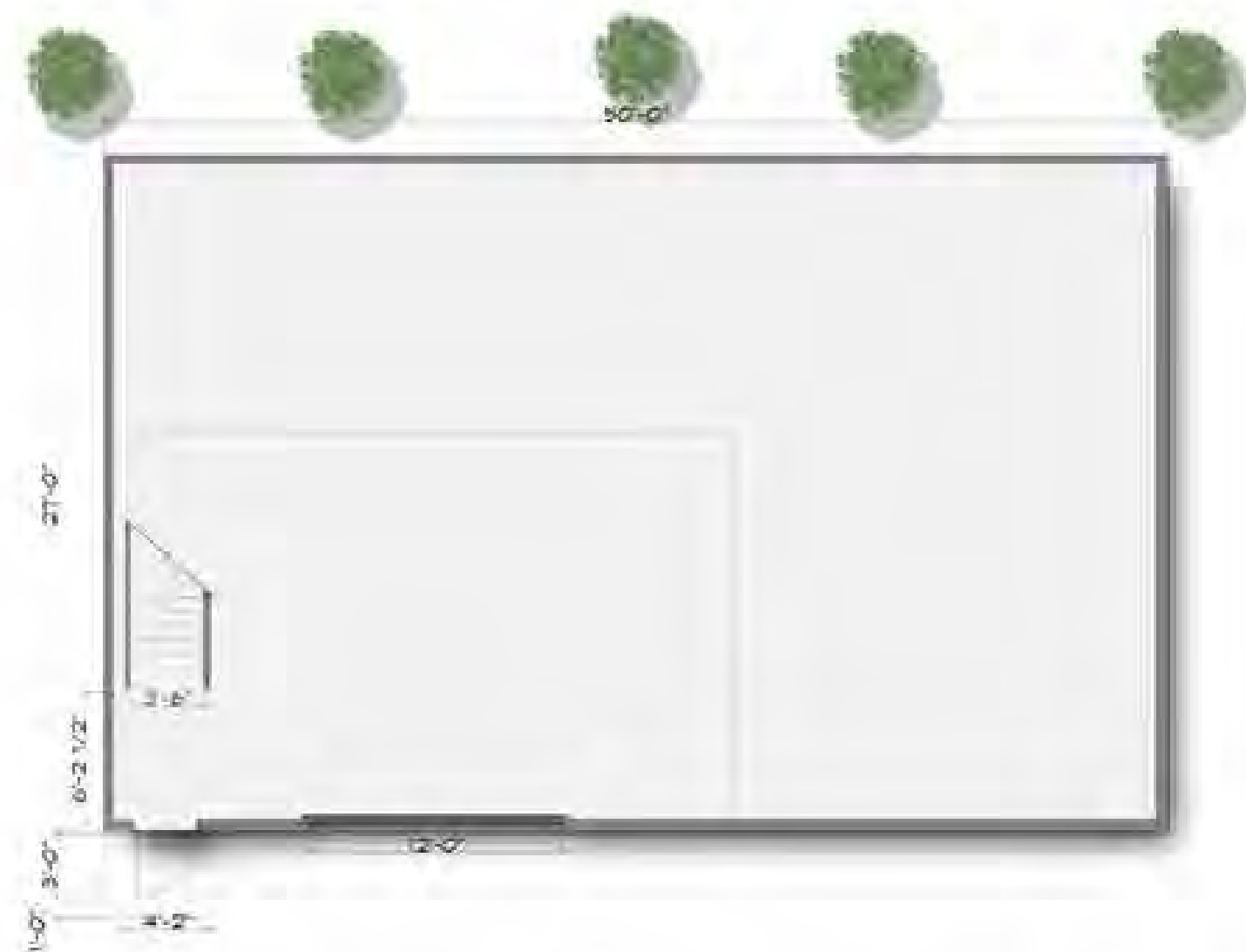
SCALE: 3/16" = 1'-0"

MATERIALS			
SIGNIFIER	NAME	COLOR & MATERIAL SPECIFICATION	MANUFACTURER/SUPPLIER
CO	COPPER DOWNSPOUTS	COPPER	TBD
COR	COPPER/COPPER PAINT STANDING SEAM ROOF	COPPER	TBD
COT	COPPER TRIM	COPPER	LOCAL SUPPLIER
IMP	INSULATED METAL PANEL	GLACIER WHITE	KINGSPAN
WD	HARDWOOD	CHARCOAL STAIN	LOCAL SUPPLIER
AW	ALUMINUM/STEEL WINDOWS	CHARCOAL	KAWNEER/JADA
GL	LOW-E GLASS	SOLAR BAN 70 CLR	PPG
TL	TERRECOTTA CLAY TILE	TERRACOTTA	BORAL
AD	ALUMINUM/STEEL DOORS	CHARCOAL	KAWNEER/JADA
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STU	STUCCO	GLACIER WHITE-SANTA BARBARA FINISH	LAHABRA
GM	GALVANIZED METAL	STANDARD	TBD
CB	CONCRETE BLOCK	STANDARD	TBD
PMB	POWDER COATED METAL	BLACK	TBD
CON	CONCRETE	SMOOTH FINISH	LOCAL





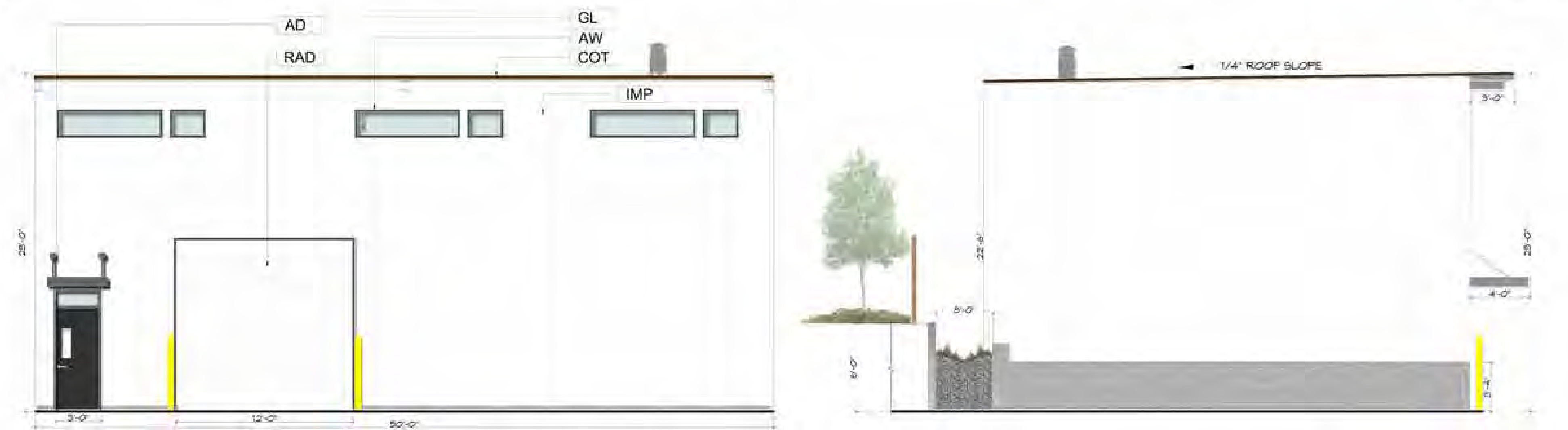
1 SECOND FLOOR RECORDS RETENTION  
SCALE: 1/8" = 1'-0"



3 FIRST FLOOR RECORDS RETENTION  
SCALE: 1/8" = 1'-0"



2 NORTH & EAST ELEVATION @ RECORDS RETENTION  
SCALE: 3/16" = 1'-0"



4 SOUTH & WEST ELEVATION @ RECORDS RETENTION  
SCALE: 3/16" = 1'-0"



5 TRASH ENCLOSURE  
SCALE: 3/16" = 1'-0"



6 HAZARDOUS STORAGE  
SCALE: 3/16" = 1'-0"





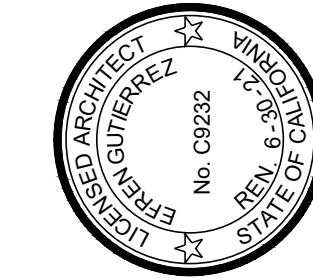


1 SOUTH ELEVATION



2 WEST ELEVATION

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EXTERIOR ELEVATION  
 SHEET REFERENCE:  
 DATE: 26 JUNE 2020  
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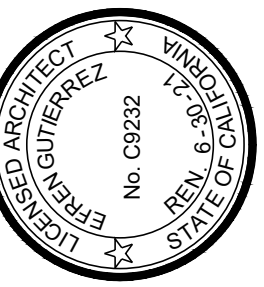
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1 SOUTH STREET ELEVATION



2 NORTH SHOP ELEVATION

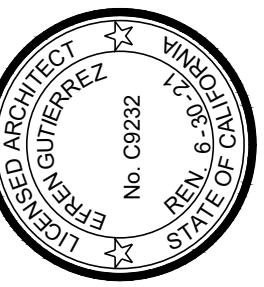




1 SOUTH ELEVATION @ ENTRANCE



2 WEST PROPERTY LINE @ TRASH ENCLOSURE AND SMALL SPOILS





1 NORTH PROPERTY LINE @ REAR YARD



2 WEST PROPERTY LINE @ MAIN SPOILS AND COVERED EQUIPMENT STORAGE

